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PLANNING COMMITTEE

Tuesday, 24th January, 2017 at 7.30 pm
Venue: Conference Room,
The Civic Centre, Silver Street,
Enfield, Middlesex, EN1 3XA

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MEMBERS

Councillors : Dinah Barry, Jason Charalambous, Katherine Chibah, Dogan Delman, Christine Hamilton, Ahmet Hasan, Jansev Jemal, Derek Levy, Anne-Marie Pearce, George Savva MBE, Toby Simon (Chair) and Jim Steven

N.B. Any member of the public interested in attending the meeting should ensure that they arrive promptly at 7:15pm

Please note that if the capacity of the room is reached, entry may not be permitted. Public seating will be available on a first come first served basis.

Involved parties may request to make a deputation to the Committee by contacting the committee administrator before 12:00 noon on 23/01/17

AGENDA – PART 1

1. **WELCOME AND APOLOGIES FOR ABSENCE**
2. **DECLARATION OF INTERESTS**

Members of the Planning Committee are invited to identify any disclosable pecuniary, other pecuniary or non pecuniary interests relevant to items on the agenda.

3. **MINUTES OF THE PLANNING COMMITTEE - TUESDAY 29 NOVEMBER AND TUESDAY 20 DECEMBER 2016** (Pages 1 - 10)

To receive the minutes of the Planning Committee meetings held on:

- (i) Tuesday 29 November 2016; and
- (ii) Tuesday 20 December 2016.

4. REPORT OF THE ASSISTANT DIRECTOR, PLANNING, HIGHWAYS AND TRANSPORTATION (REPORT NO. 192) (Pages 11 - 12)

To receive the covering report of the Assistant Director, Planning, Highways and Transportation.

4.1 Applications dealt with under delegated powers. (A copy is available in the Members' Library).

5. 16/05580/FUL - WELLINGTON HOUSE, 3 WELLINGTON ROAD, ENFIELD, EN1 2PB (Pages 13 - 42)

RECOMMENDATION: Approval subject to conditions
WARD: Bush Hill Park

6. 16/03723/RE4 - RESIDENTIAL HOME, FORMER ELIZABETH HOUSE, 1 OLD ROAD, ENFIELD, EN3 5XX (Pages 43 - 58)

RECOMMENDATION: Approval subject to conditions
WARD: Southbury

7. 16/04869/HOU - 137 CONNAUGHT GARDENS, LONDON, N13 5BU (Pages 59 - 80)

RECOMMENDATION: Approval subject to conditions
WARD: Palmers Green

8. 16/04677/RE4 - FORMER MINCHENDEN SCHOOL, HIGH STREET, LONDON, N14 6BS (Pages 81 - 110)

RECOMMENDATION: Approval subject to conditions
WARD: Southgate

9. 16/04322/LBC - FORMER MINCHENDEN SCHOOL, HIGH STREET, LONDON, N14 6BS (Pages 111 - 140)

RECOMMENDATION: Approval subject to conditions
WARD: Southgate

10. EXCLUSION OF THE PRESS AND PUBLIC

If necessary, to consider passing a resolution under Section 100A(4) of the Local Government Act 1972 excluding the press and public from the meeting for any items of business moved to part 2 of the agenda on the grounds that they involve the likely disclosure of exempt information as defined in those paragraphs of Part 1 of Schedule 12A to the Act (as amended by the Local Government (Access to Information) (Variation) Order 2006).
(There is no part 2 agenda)

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PLANNING COMMITTEE - 29.11.2016

**MINUTES OF THE MEETING OF THE PLANNING COMMITTEE
HELD ON TUESDAY, 29 NOVEMBER 2016****COUNCILLORS**

PRESENT Jason Charalambous, Katherine Chibah, Dogan Delman, Christine Hamilton, Ahmet Hasan, Jansev Jemal, Derek Levy, Anne-Marie Pearce, George Savva MBE, Toby Simon and Jim Steven

ABSENT Dinah Barry

OFFICERS: Bob Griffiths (Assistant Director - Planning, Highways & Transportation), Andy Higham (Head of Development Management), Robert Singleton (Planning Officer), Kevin Tohill (Planning Decisions Manager) and Dominic Millen and Metin Halil (Secretary)

Also Attending: Approximately 50 members of the public, applicant and agent representatives

253**WELCOME AND APOLOGIES FOR ABSENCE**

Councillor Simon, Chair, welcomed all attendees and explained the order of the meeting.

Apologies for absence was received from Councillor Barry

254**DECLARATION OF INTERESTS**

There were no declarations of interest.

255**MINUTES OF THE PLANNING COMMITTEE - TUESDAY 18 OCTOBER
2016 AND TUESDAY 8 NOVEMBER 2016**

AGREED the minutes of the Planning Committee meetings held on Tuesday 18 October 2016 and Tuesday 8 November 2016 as a correct record.

256

PLANNING COMMITTEE - 29.11.2016

REPORT OF THE ASSISTANT DIRECTOR, PLANNING, HIGHWAYS AND TRANSPORTATION (REPORT NO. 150)

RECEIVED the report of the Assistant Director, Planning, Highways and Transportation (Report No. 150).

257

16/02878/HOU - 81 THE VALE. LONDON, N14 6AT

NOTED

1. The introduction by the Planning Decisions Manager, Kevin Tohill.
2. This application was being presented to the committee due to a technical error on the previous application ref: 16/00287/CEA, leading to the neighbours seeking a Judicial Review. The error came about due to the applicant's solicitors sending objections directly to an officer who was not the case officer, and unfortunately the objection was not picked up.
As such the department are in the process of revoking the previous approval and are bringing this resubmission to planning committee for determination. The objections have been raised and considered within the body of the committee report detailed at pages 13-28.
3. Officers are aware that there have been issues raised by neighbours regarding drains, boundaries and encroachment. These issues would not have any bearing on the planning matters of the case as they are covered by alternative legislation with the Party Wall Act and Building regulations.
4. The statement of Councillor Robert Hayward on behalf of Southgate Ward Councillors raising concerns about the current application.
5. The deputation of Ms Andrews on behalf of neighbouring residents.
6. The response of Carle Scott Gerber (agent) of Life U Design.
7. Members' debate and questions responded to by officers.
8. The support of the Committee for the officers' recommendation: 10 votes for and 1 abstention.

AGREED to delegate authority to planning officers to approve planning permission subject to conditions and subject to the correct certificates issued, following discussions with the Legal Department regarding the matters raised by the objector. The objectors submitted deeds to the Council for legal consideration.

258

16/01390/RE3 - 164 LAVENDER HILL, ENFIELD, EN2 8RP

PLANNING COMMITTEE - 29.11.2016

NOTED

1. The introduction by the Planning Decisions Manager, Kevin Tohill.
2. The deputation of Mrs A. Colthurst, local resident.
3. Members debate and questions responded to by officers.
4. The unanimous support of the committee to defer the application.

AGREED that the application be deferred to undertake a comprehensive daylight/sunlight analysis of the neighbouring windows.

259

16/02210/FUL - 39 DRAPERS ROAD, EN2 8LU

NOTED that this application was withdrawn.

260

16/02703/FUL - 59-69 CHURCH LANE, LONDON, N9 9PZ

NOTED

1. The introduction by the Planning Decisions Manager, Kevin Tohill.
2. The deputation of Mrs Joy Webber, on behalf of the Church lane & Surrounding Community Group.
3. The response of Mr Roger Pidgeon of Lamont Planning Associates (Agent) on behalf of the applicant.
4. Members' debate and questions responded to by officers.
5. The support of the committee for the officers' recommendation: 8 votes for and 3 abstentions.

AGREED that planning permission be granted subject to the conditions set out in the report and subject to an extra condition concerning the appropriate glazing to be used in the construction of the canopy.

261

16/04185/RE4 - GARAGES ADJACENT TO 43, 45, 47-53 AND REAR OF 17-32 GATWARD GREEN, LONDON, N9 9AW

NOTED

1. The introduction by the Principal Planning Office, Robert Singleton.
2. The deputation of Mr Chris Nelson, local resident.
3. The response of Ms Natalya Palit of HTA Design LLP (agent).

PLANNING COMMITTEE - 29.11.2016

4. Members' and questions responded to by officers.
5. The unanimous support of the committee for the officers' recommendation.

AGREED that planning permission be granted in accordance with Regulation 3-4 of the Town and Country Planning General Regulations 1992 subject to conditions and Unilateral Undertaking.

262

16.04369/FUL - CHASE FARM HOSPITAL, THE RIDGEWAY, ENFIELD, ENS 6JL

NOTED

1. The introduction by the Principal Planning Officer, Robert Singleton.
2. Members debate and questions responded to by officers.
3. The unanimous support of the committee for the officers' recommendation.

AGREED that planning permission be granted in accordance with Regulation 3/4 of the Town and Country Planning General Regulations 1992 subject to conditions levied under ref: 14/04574/OUT and a Deed of Variation to the agreed Section 106.

263

SITE VISITS

NOTED

1. The Chair also indicated a need for site visits to the following sites:
 - Holbrook House
 - Westpole Avenue
2. The Committee to also look at sites that have been built i.e. the Cat Hill site, for reflective purposes.

PLANNING COMMITTEE - 20.12.2016

**MINUTES OF THE MEETING OF THE PLANNING COMMITTEE
HELD ON TUESDAY, 20 DECEMBER 2016**

COUNCILLORS

PRESENT Jason Charalambous, Katherine Chibah, Dogan Delman, Christine Hamilton, Ahmet Hasan, Derek Levy, Anne-Marie Pearce, George Savva MBE, Toby Simon and Jim Steven

ABSENT Dinah Barry and Jansev Jamal

OFFICERS: Bob Griffiths (Assistant Director - Planning, Highways & Transportation), Andy Higham (Head of Development Management), Robert Davy (Strategic Planning & Design), Isha Ahmed (Principal Planner), Dominic Millen, Kevin Tohill (Planning Decisions Manager) and Andy Bates (Planning Decisions Manager) and Metin Halil (Secretary)

Also Attending: Approximately 25 members of the public, applicant and agent representatives

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WELCOME AND APOLOGIES FOR ABSENCE

Councillor Simon, Chair, welcomed all attendees and explained the order of the meeting.

Apologies for absence was received from Councillor Barry and Councillor Jamal.

265

DECLARATION OF INTERESTS

There were no declarations of interest.

266

**MINUTES OF THE PLANNING PANEL 17 NOVEMBER 2016 - FORMER
MIDDLESEX UNIVERSITY TRENT PARK**

AGREED the minutes of the Planning Panel meeting held on Thursday 17 November 2016 as a correct record, subject to an amendment, raised by Councillor Charalambous, as detailed below:

PLANNING COMMITTEE - 20.12.2016

Agenda item 3, para 5 which currently reads as follows:

"He acknowledged other concerns raised and in particular around affordable housing and reassurance this would not jeopardise the museum offer. At the moment, the proposals put forward included some affordable housing, a museum and other community benefits. If the percentage of affordable housing changed, there would be a need to look at the balance of the benefits but he did not think that the museum space would be affected."

Should be changed to

"He acknowledged other concerns raised and in particular around affordable housing and sought reassurance this would not jeopardise the museum offer. At the moment, the proposals put forward included some affordable housing, a museum and other community benefits. Dan Massie from Berkeley Homes responded by saying if the percentage of affordable housing changed, there might be a need to look at the balance of the benefits but said that the museum space offered would not be affected."

267

REPORT OF THE ASSISTANT DIRECTOR, PLANNING, HIGHWAYS AND TRANSPORTATION (REPORT NO. 169)

RECEIVED the report of the Assistant Director, Planning, Highways and Transportation (Report No. 169).

268

ORDER OF THE AGENDA

AGREED that the order of the agenda be varied to accommodate members of the public in attendance at the meeting. The minutes follow the order of the meeting.

269

16/04879/FUL - 62 CUNNINGHAM AVENUE, ENFIELD, EN3 6LA

NOTED

1. The introduction by the Planning Decisions Manager, Andy Bates, clarifying the proposal.
2. The statement of Councillor Nneka Keazor on behalf of Enfield Lock Ward Councillors raising concerns about the current application.
3. Members' debate and questions responded to by officers.
4. The support of the Committee for the officers' recommendation: 9 votes for and 1 abstention.

PLANNING COMMITTEE - 20.12.2016

AGREED that planning permission be granted subject to the conditions set out in the report and an additional condition restricting the use of the buildings to single family dwellings, as well as ensuring no amalgamation of the units as a result of internal changes.

270

P12-03011PLA - 42 STATION ROAD, LONDON, N21 3RA

NOTED

1. The introduction by the Planning Decisions Manager, Kevin Tohill, clarifying the proposal.
2. As the resolution by Planning Committee in November 2013 was to grant the subject to the completion of the S106, following subsequent changes to S106 policy this case had now been referred back to the Planning Committee with a recommendation to grant with conditions.
3. The deputation of Mr Michael Heppner, local resident.
4. The deputation of Mr James Rudd, local resident.
5. The response by Mr David Lane, DLA Planning Ltd (agent) on behalf of the applicant.
6. Members' debate and questions responded to by officers.
7. The support of the Committee for the officers' recommendation: 9 votes for and 1 abstention.

AGREED that planning permission be granted subject to the conditions set out in the report.

271

16/00295/FUL - GARAGES LAND ADJACENT TO 28 TURIN ROAD, LONDON, N9 8BT

NOTED

1. The introduction by the Planning Decisions Manager, Kevin Tohill, clarifying the proposal.
2. Members' debate and questions responded to by officers.
3. The unanimous support of the Committee for the officers' recommendation.

AGREED that the Planning Decisions Manager/Head of Development Management be authorised to grant planning permission subject to the conditions set out in the report.

PLANNING COMMITTEE - 20.12.2016

272

16/02210/FUL - 39 DRAPERS ROAD, ENFIELD, EN2 8LU

NOTED

1. The introduction by the Planning Decisions Manager, Andy Bates, clarifying the proposal.
2. This application was deferred from the Planning Committee meeting of 29 November 2016 at the request of Officers as a result of a failure to advise all interested parties that the matter was to be discussed at that meeting.
3. 15 Beckwith Close had pointed out a number of issues with the report and the description of the surrounding area (Page 90). The resident is correct but the assessment of the acceptability of the development remains correct.
4. Members' debate and questions responded to by officers.
5. The support of the Committee for the officers' recommendation: 9 votes for and 1 abstention.

AGREED that planning permission be granted subject to the conditions set out in the report.

273

15/01063/FUL - BRIMSDOWN SPORTS CLUB, GOLDSOWN ROAD, ENFIELD, EN3 7RP

NOTED

1. The introduction by the Planning Decisions Manager, Andy Bates, clarifying the proposal.
2. The Committee had conducted a site visit on Saturday 9th July 2016 following the decision to defer consideration of the planning application at the meeting held on 28th June 2016.
3. Members' debate and questions responded to by officers.
4. The support of the Committee for the officers' recommendation: 6 votes for and 4 against.

The applicants have appealed to the Secretary of State against the non-determination of the application. As a result, it is only now possible for the Local Planning Authority to set out what decision it would have made as the matter now falls to the Secretary of State.

AGREED that planning permission would have been refused had the Planning committee been in a position to make a decision for the reasons set down on Page 153 of the report.

PLANNING COMMITTEE - 20.12.2016

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SECTION 106 MONITORING REPORT (REPORT NO.170)

RECEIVED the report of the Director of Regeneration and Environment providing an update on the monitoring of Section 106 Agreements (S106) and progress on S106 matters during the period 1 April 2016 to 30 September 2016.

1. The Chair reported that a new system for Section 106 reporting is in progress which should be ready in 6 months' time. Once all data including historic data has been entered onto the new system, reporting of extreme entries will be easier to report.
2. A power point presentation by Isha Ahmed and Robert Davy (Principal Planning Officers) highlighting Section 106 key points under the following headings:
 - a. Schemes Approaching Spend Deadline
 - b. National Planning Policy Change – Small Sites Exemption
 - c. S106 Spend Update (1 April 2016 – 30 September 2016).
3. The S106 monitoring overview for the first half of the current financial year to 30 September 2016 highlights 276 individual S106 agreements containing approximately 970 heads of terms. Funds had been received for 144 of these agreements and projects are currently being delivered.
4. Annex 1 (Pages 169 – 194) of the report, details the implementation of the 144 agreements, at the end of the monitoring period. An overview of the financial information contained in Annex 1 is detailed at Table 1 (Page 158) of the report. As detailed at Table 1, on the 30 September 2016, the total available balance of S106 monies was £9.1m. Approximately £1.5m was received in the first 6 months of 2016/17 in S106 financial contributions from schemes where planning permissions were implemented. From the £1.5m, only £34K had been drawn down by Council departments, which was not unusual.
5. Table 2 (Page 160) of the report summarises the financial contributions that have been agreed and included in 132 S106 agreements. The table shows that £11.1m could be received by the Council if all of the relevant planning permissions are implemented. The figure of £11.1m is in addition to the total current balance contained in Table 1.
6. Paragraph 3.6 (page 159) of the report highlights the three significant amounts received so far this monitoring year towards affordable housing and education.
7. Section 106 receipts may reduce in the future following a recent high court ruling that Officers can no longer seek contributions for affordable housing & education from developments of 10 units or less where the maximum combined gross floor space is 1000 square metres or less.

PLANNING COMMITTEE - 20.12.2016

8. There is a meeting in January 2017, where the Community Infrastructure Levy (CIL) and S106 agreements will be discussed and a project board to be set up.
9. Members debate and questions responded to by officers including the following:
 - a. To step up efforts to spend S106 monies by Council departments.
 - b. Many of the S106 agreements contain clauses requiring spending of the contributions within a 5 or 10 year time frame.
 - c. Members requested the spend breakdown of S106 monies received for the Cat Hill development . Isha Ahmed (Principal Planning Officer) would provide this information to the committee administrator for circulation to members, in January 2017.
ACTION: Metin Halil (Committee Administrator)
 - d. If any Members had any concerns with any of the S106 schemes, then they could contact Isha Ahmed/Robert Davy (Principal Planning Officers) for further information.

AGREED that Planning Committee noted the contents of this report and its Appended report.

275

16/02235/FUL - SOUTHGATE TOWN HALL, 251 GREEN LANES, LONDON, N13 4XE

NOTED

1. The introduction by the Planning Decisions Manager, Kevin Tohill, clarifying the proposal.
2. Members' debate and questions responded to by officers.
3. The unanimous support of the Committee for the officers' recommendation.

AGREED that planning permission be granted subject to the conditions set out in the report and an additional condition to retain both D1 and D2 use.

MUNICIPAL YEAR 2016/2017 - REPORT NO 192

COMMITTEE:
 PLANNING COMMITTEE
 24.01.2017

AGENDA - PART 1	ITEM 4
SUBJECT -	
MISCELLANEOUS MATTERS	

REPORT OF:
 Assistant Director, Planning,
 Highways and Transportation

Contact Officer:
 Planning Decisions Manager
 Andy Bates Tel: 020 8379 3004
 Kevin Tohill Tel: 020 8379 5508

4.1 APPLICATIONS DEALT WITH UNDER DELEGATED POWERS INF

4.1.1 In accordance with delegated powers, 435 applications were determined between 6/12/2016 and 11/1/2017, of which 286 were granted and 149 refused.

4.1.2 A Schedule of Decisions is available in the Members' Library.

Background Papers

To be found on files indicated in Schedule.

4.2 PLANNING APPLICATIONS AND APPLICATIONS TO DISPLAY ADVERTISEMENTS DEC

On the Schedules attached to this report I set out my recommendations in respect of planning applications and applications to display advertisements. I also set out in respect of each application a summary of any representations received and any later observations will be reported verbally at your meeting.

Background Papers

- (1) Section 70 of the Town and Country Planning Act 1990 states that the Local Planning Authority shall have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations. Section 54A of that Act, as inserted by the Planning and Compensation Act 1991, states that where in making any determination under the Planning Acts, regard is to be had to the development, the determination shall be made in accordance with the plan unless the material considerations indicate otherwise. The development plan for the London Borough of Enfield is the London Plan (March 2015), the Core Strategy (2010) and the Development Management Document (2014) together with other supplementary documents identified in the individual reports.
- (2) Other background papers are those contained within the file, the reference number of which is given in the heading to each application.

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LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date: 24th January 2017

Report of

Assistant Director, Planning &
Environmental Protection

Contact Officer:

Andy Higham
Kevin Tohill
Marina Lai

Ward:

Bush Hill Park

Application Number 16/05580/FUL

LOCATION: Wellington House, 3 Wellington Road, Enfield, EN1 2PB

PROPOSAL: Demolition of the existing single family dwelling and erection of a three-storey block of 7 units comprising 1 x 1-bed, 5 x 2-bed and 1 x 3-bed with associated access, parking and landscaping.

Applicant Name & Address:

Mr Antoine Christoforou

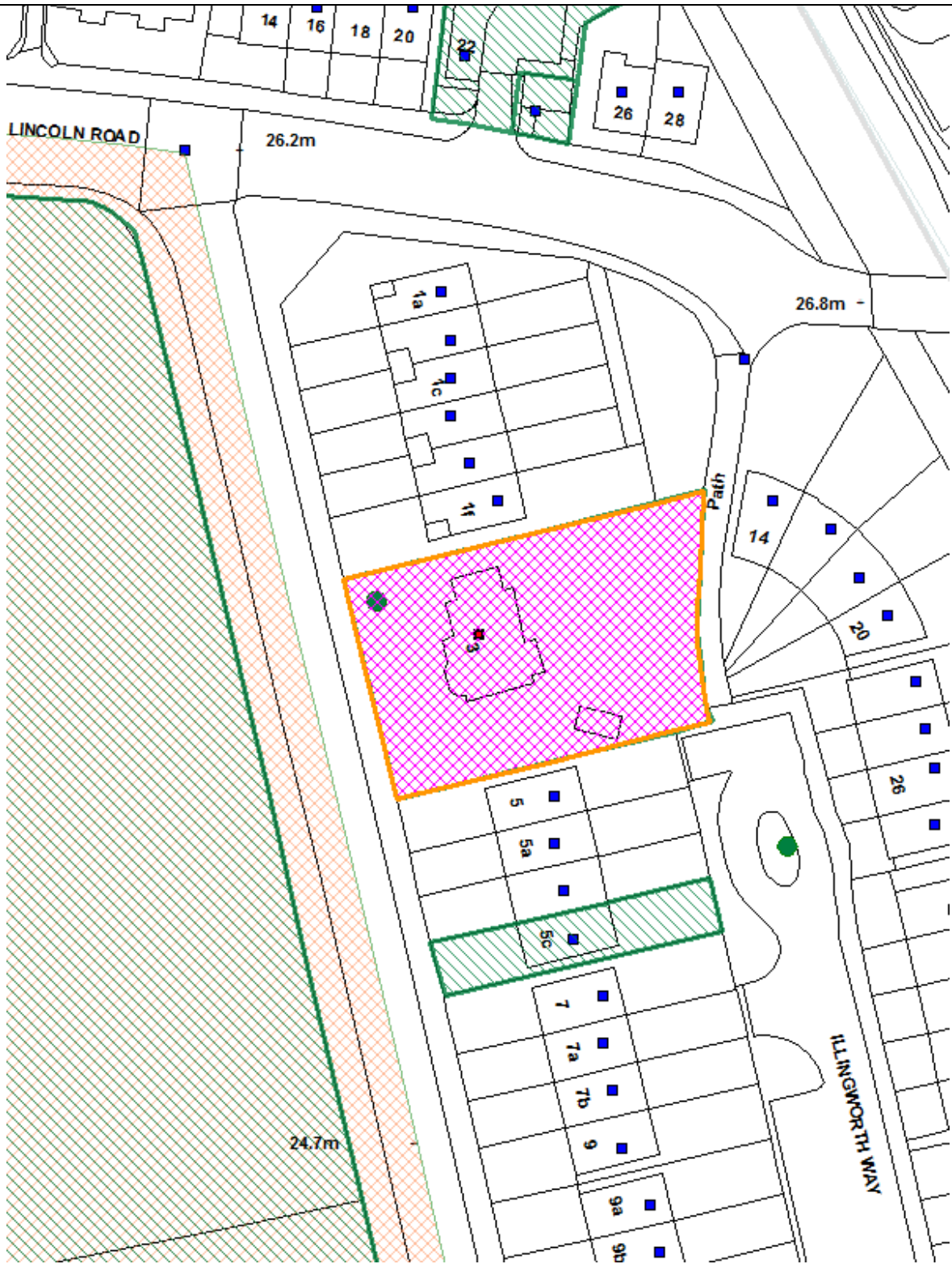
Agent Name & Address:

Mr Christopher Higenbottam
Tempietto Architects
The Studio, 9 London Road
Aston Clinton

RECOMMENDATION:

That planning permission be **GRANTED** subject to conditions.

Ref: 16/05580/FUL LOCATION: Wellington House , 3 Wellington Road, Enfield, EN1 2PB



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Scale 1:625

North



1. Site and Surroundings

- 1.1. The application site refers to a detached, two-storey with attic accommodation, dwelling house located on the east side of Wellington Road, close to its junction with Lincoln Road. The property is set back from the highway behind a modern brick boundary wall, with the area to the front of the building given over to parking and landscaping.
- 1.2. The property dates from the period 1881-1886 and has been extended in the 1990s with a two-storey extension to the side, a uPVC conservatory to the rear and a detached double garage to the side. To the front of the site is a Corsican Pine tree which is the subject of a Tree Preservation Order.
- 1.3. The application site is bounded to a block of 5 x three-storey terraced townhouses (No.1a - No.1f Wellington Road) to its north, a three-storey terraced block (No.5 - No.5c Wellington Road) to its south, and a three-storey crescent block (No.14 - No.20 Illingworth Way) to the east (rear).
- 1.4. The site is not listed and does not fall in within a conservation area. However, it is opposite to Enfield cricket ground, which falls within Bush Hill Conservation Area.
- 1.5. The surrounding is essentially residential in nature, characterised with further detached, semi-detached houses and town houses of various design era and appearance.
- 1.6. Wellington Road is an unclassified road. The site has a PTAL rating of 2 and is not in a controlled parking zone (CPZ).



2. Proposal

- 2.1. The applicant seeks full planning permission for the demolition of the existing buildings and erection of a new three-storey residential block of 7 flats.

Scale and bulk

- 2.2. The proposed block will be three-storey, with the top floor being set in. It will align with the neighbouring terraced townhouses at No.1a - No.1F Wellington Road and terraced row at No. 5 - No.5c Wellington Road in terms of overall height and front building line, and have a separation of approximately 2.6m from the side boundaries with the immediately neighbouring properties at No.1F and No. 5 Wellington Road.

Frontage and materiality

- 2.3. The frontage of the proposed building would include a small stagger and align with the frontages of No.1 and No.5 Wellington Road. The materials will include red bricks, slate grey powder coated aluminium windows and doors, and a graphite grey standing seam zinc roof set behind a brick parapet. The mansard roof form of the upper storey is a reference to the roof form of 1 Wellington Road and allows the brick façade to be at a transitional height between that of 1 and 5 Wellington Road. Slate grey powder coated aluminium rainwater pipes and hoppers divide the facades into bays that are two windows wide, reflecting the rhythm set up by the townhouses each side.

Amenity

- 2.4. The existing rear garden of the site, that is approximately 430sqm, will be used as a communal garden for future residents only. All the upper floor flats with an exception of flat 4 will have their own private outdoor amenity spaces in the formation of either balconies or roof terraces, while the ground floor family unit would have a direct access onto the communal garden.

Access

- 2.5. Separate pedestrian and vehicular accesses are proposed. The vehicular entrance will be under undercroft, via the existing vehicle access and a secured gate.

Provision of parking and cycling

- 2.6. 7 x car parking spaces, including 3 x car park within the frontcourt and 4 x undercroft parking, and 7 x secured cycle spaces will be provided within the site.

Refuse and bin Storage

- 2.7. The bin storage will be allocated to the rear, with collection via Illingworth Way.

Trees

- 2.8. 5 x existing trees on the site will be removed as a result of the development. The protected Corsican Pine to the front will be retained.

3. Relevant Planning History

- 3.1. 15/05542/FUL: Application received for demolition of the existing single family dwelling and erection of a three-storey block of 8 units comprising 2 x 1-bed, 4 x 2-bed and 2 x 3-bed with associated access, parking and landscaping. Decision pending;
- 3.2. An appeal has been recently logged in for non-determination to the above planning application.
- 3.3. TP/06/0689: Application received for demolition of the existing single family dwelling and erection of a three-storey block of 11 units comprising 4 x 1-bed, and 4 x 1-bed with front and rear Juliet balconies undercroft access to parking at the rear and parking at front together with two accesses to Wellington Road. Application withdrawn;
- 3.4. TP/98/0873: Planning consent was granted for detached garage at side (amended roof design).
- 3.5. TP/97/0554: Planning consent was granted for construction of porch canopy at front (retrospective).
- 3.6. TP/97/0151: Planning consent was granted for erection of detached double garage at side of existing property. (part retrospective).
- 3.7. TP/96/1137: Planning consent was granted for erection of a conservatory at rear of existing property.
- 3.8. TP/96/0146: Planning consent was granted for erection of single storey extension at side of existing property to provide additional living accommodation.
- 3.9. TP/96/0803: Planning consent was granted for erection of first floor extension at side of existing property to provide additional living accommodation.

4. Consultation

Public Consultations

- 4.1. The application was advertised in the local paper, Enfield Independent, on the 14th of December 2016. 8 x Site Notices were put up on 05/12/2016 on Wellington Road, Lincoln Road and Illingworth Way.
- 4.2. 98 x notification letters were hand-delivered by Officers to ensure that the neighbouring properties were informed.
- 4.3. The 21 day public notification period started on the 5th of December 2016 and further extended to the 5th of January 2017 owing to the festive period. 16 x comments were received, raised the follow concerns:
 - It would destroy a valued heritage asset;
 - The house planned for demolition is an important part of the aesthetic of the area. Its removal, to be replaced with homogenous new build flats is unacceptable;

- Conflict with Development Management Document policies;
- Inadequate parking provision; Parking in this area is already at a premium, given the restrictions in place nearby. The flats would clearly require additional spaces in excess of those provided by developers;
- Increase in traffic;
- Out of keeping with character of area;
- Over development of the site;
- Wellington Road is already over developed and the creation of further flats would add to the congestion and overcrowding in the area;
- Loss of privacy;
- Affect local ecology;
- General dislike of proposal;
- Noise nuisance;
- Strain on existing community facilities;
- The building of flats as a replacement to the elegance of the existing building would be an architectural blasphemy;
- The neighbours in this quiet cul-de-sac of Illingworth Way are extremely worried that due to lack of parking on this proposed site that they will be coming into our already crowded turning;
- The proposed site is just like an office block, not at all in keeping with the area;
- Undercover parking spaces seem very tight for vehicle manoeuvring purposes. This undercover area may also be a pollution concern with inadequate ventilation due to the vehicle exhausts as well as the noise of the engines reverberating in the enclosed space; and
- Misleading errors in the plans.

Internal

- 4.4. Traffic and Transportation: - The Team required further information to address:
- Details of the layout of the parking under undercroft; and
 - 13 x cycle parking spaces
- 4.5. Housing Development: As this development comprises less than 10 units, and there is no requirement to provide on-site Affordable Housing.
- 4.6. Tree Officer: No objection subject to the submission of an appropriate tree protection plan, in accordance with BS5837:2012, via condition.

External

- 4.7. Historical England: No objection raised; the proposal is unlikely to have a significant effect on heritage assets of archaeological interest. Although within an Archaeological Priority Area, the proposed development is fairly minor and unlikely to cause significant harm in this location.
- 4.8. Thames Water: informative only
- 4.9. CAG (Conservation Advisory Group): In essence the latest proposal does not improve on the historic house. It is merely inoffensive; striving to blend into its immediate surroundings. CAG objects to the loss original house on the basis that the latest design is not an improvement on the non-designated heritage asset.

- 4.10. BHP Conservation Area Study Group: raised objections to the proposal, on the basis that the latest design does not improve on the non-designated heritage asset, with the following comments in detail:

Specifically the house is the last remaining, original, domestic dwelling that faced Enfield Cricket Club ground. Built in the late 19th Century it's style is redolent of other properties that lie with BHP conservation area. It is an undesignated heritage asset that missed inclusion, for reasons unknown, in the immediately adjacent conservation area. The property has been much altered in the years since it was built; concrete roof tiles, U-PVC windows are all degrading alterations. It would be unusual had there been no alterations over 125 years. However, the point is they are reversible.

The most recent proposal for this replacement is the result of advice that has been given by Enfield. Essentially, the street facing elevation has been modified (from earlier proposals) to meld into the nondescript, late 1960's/early 70's town house design, that flank the site on either side. This latest proposal is an improvement on the earlier, nakedly obvious, block of flats.

In terms of detail the internal car parking looks unworkable regarding turning to exit and enter the front bays (P3&4). The 1:100 drawings are insufficient to understand the entrance to the garage. It is unclear as to whether it is a door or simply an opening. Given the number of flats and the fact that the site is not on a transport node the parking is insufficient. Further, front garden parking should be discouraged although it is a fact of life.

In essence the latest proposal does not improve on the historic house. It is merely inoffensive; striving to blend into its immediate surroundings.

5. Relevant Policy

5.1. Core Strategy

CP4: Housing quality

CP20: Sustainable energy use and energy infrastructure

CP21: Delivering sustainable water supply, drainage and sewerage infrastructure

CP22: Delivering sustainable waste management

CP24: The road network

CP25: Pedestrians and cyclists

CP30: Maintaining and improving the quality of the built and open environment

CP32: Pollution

CP36: Biodiversity

5.2. Development Management Document

DMD5: Residential Conversions

DMD6: Residential Character

DMD8: General Standards for New Residential Development

DMD9: Amenity Space

DMD10: Distancing
DMD37: Achieving High Quality and Design-Led Development
DMD47: New Roads, Access and Servicing
DMD49: Sustainable Design and Construction Statements
DMD51: Energy Efficiency Standards
DMD68: Noise
DMD79: Ecological Enhancements
DMD80: Trees on Development Sites

5.3. London Plan (2015)

Policy 3.3: Increasing housing supply
Policy 5.3: Sustainable design and construction
Policy 5.7: Renewable energy
Policy 5.10: Urban greening
Policy 5.13: Sustainable drainage
Policy 5.14: Water quality and wastewater infrastructure
Policy 5.15: Water use and supplies
Policy 5.16: Waste self sufficiency
Policy 6.9: Cycling
Policy 6.13: Parking
Policy 7.3: Designing out crime
Policy 7.4: Local character
Policy 7.5: Public realm
Policy 7.6: Architecture

5.4. Other Relevant Policy

National Planning Policy Framework

5.5. Other Material Considerations

The Mayors Housing SPG (2012)
Enfield Strategic Housing Market Assessment (2010)
Waste and Recycling Storage Planning Guidance
Bush Hill Park Conservation Area Appraisals

6. Main Issues to be Considered

6.1. The main issues to be considered in respect of this application are:

- Principle of the development in terms of land use, with a particular attention to the impact on the loss of heritage asset and setting and character of the Conservation Area;
- Residential character, in terms of density, design, scale and the immediate surrounding;
- Impact on neighbouring amenity;
- Quality of accommodation, including amenity provisions;
- Traffic, parking and servicing issues;
- Impact on trees; and
- Planning obligations.

Principle of the Development

- 6.2. A heritage asset is defined within the NPPF as “a building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. Heritage asset includes designated heritage assets and assets identified by the local planning authority (including local listing)”.
- 6.3. The subject building is a non-designated heritage asset, opposite to the Bush Hill Park Conservation Area. The proposal would thus result in a loss of heritage asset and have an impact on the setting and character of the conservation area.

Impact on the loss of a non-designated heritage asset

- 6.4. The National Planning Policy Framework (NPPF) provides guidance with local planning authorities on how to safeguard special interest of heritage asset. Paragraph 128 states that in determining applications, local authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution to their setting. Paragraph 132 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation. As heritage assets are irreplaceable, any harm should require clear and convincing justification.
- 6.5. Paragraphs 133 and 134 are also considered relevant and refer to the requirement to weigh harm against the public benefits of proposals, including securing optimum viable use.

‘It is clear that the first part of paragraph 132 seeks to express the s72 (1) presumption. The remaining provisions then give guidance on how it may be applied in a case involving a heritage asset. So if there would be substantial harm to a listed building permission would have to be either exceptional or wholly exceptional. See the second part of paragraph 132. If there was to be substantial harm to a non-listed heritage asset, then consent should be refused unless that harm was necessary to achieve substantial public benefits or the particular matters. Finally if the harm is less than substantial it must be weighed against the public benefits including its optimum viable use.’

- 6.6. When assessing the significance of this non-designated asset, Officer conducted the follow analysis using the methodology under Historic England’s Conservation Principles:
- **Evidential Value:** The property has been much altered in the 1990s since was built, with a two-storey side extension, insertion of a porch, a large rear conservatory and a detached garage to the side. In addition to these extensions, the character and architectural quality of the original building has been further altered by the removal and replacement of the original windows to UPVc windows and the original roof tiles to concrete tiles. The removal and alterations of the original details has led to the property appearing rather plain, and lacking visual interest in detail.
 - **Aesthetic and historic value:** The property forms part of the earliest phase of the original Bush Hill Park planned suburban estate. These buildings late extensively extended to form the later Bush Hill Park Estate

that is now one of the core areas of the Bush Hill Park Conservation Area. During the 1960s, the majority of the first phase of the original Bush Hill Park Estate were demolished and replaced with 2 / or 3-storey terraced buildings of which appearance do not reflect the established visual character of the main Bush Hill Park Estate.; rather it appears as an isolated, older element in a changed streetscene which has many different aspects of design character.

- **Communal value:** the remaining Bush Hill Park Estate properties that lie in the Conservation Area form their strong and clear identity and coherence. In contrast, the northern part of Wellington Road (No.1a – No.11 Wellington Road) marks a clear break from this level of integrity, both in terms of the cohesion of the streetscape but also in the quality and character of the built form. The subject building sits as an isolated element within this streetscene.

6.7. It is then concluded that the evidential value of the subject building is considered low as a result of the dilution of the modest detailing and character of the original dwelling. By way of separating from the remaining Bush Hill Park Estate, the subject building has become an isolated and odd element set within an awkward location of which streetscene is predominated by terraced houses of various design and appearance. There are numerous superior examples with the conservation area which better represent the development and quality of the Bush Park Estate. Therefore, Officer considered that the heritage significance of the subject building is low.

6.8. As such, the proposed demolition is not considered to generate a substantial harm to this asset that warrants refusal in this instance.

Impact on the Setting and Character of the Conservation Area



Bush Hill Park Conservation Area Boundary (red) and the application site (blue)

6.9. In relation to development within Conservation Areas, Section 72(1) of the Planning (Listed Building and Conservation Areas) Act 1990 states that

'special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area'.

6.10. The council's adopted Bush Hill Park Conservation Area Appraisals identifies the key factors which the properties on Wellington Road contribute to the character and setting of Bush Hill Park Conservation Area:

- **Public Realm:** The sense of spaciousness is due to the wide roads and visible open sky, the recessed building line and large front gardens, and the generous plots on which the houses were built. The key through route is Wellington Road. This forms a central spine, dividing the area into two and is distinguished by being wider than the other roads with wide pavements on each side and a thick belt of planting formed of a hedge interspersed with trees on the western side.
- **Street Greenery:** The buildings in this part of the area are partially hidden by the street greenery, with individual houses glimpsed through the trees, rather than dominating the streetscape. The buildings nevertheless are generally attractive and of a high quality and make a key contribution to the character of the area.
- **Building forms:** Part of the appeal of the area is its architectural variety, with groups of between two and eight properties, representing the dominant styles of the late Victorian, Edwardian and interwar periods and a wide variety of design and detailing within buildings of the same timeframe.

6.11. In summary, the setting and character of Wellington Road that contribute to the conservation area lie in its open spaciousness and street greenery, historic building forms leading to a consistent townscape and wider streets.

6.12. The subject building is directly opposite to the Cricket Ground which falls within the boundary of the Conservation Area. As cited in the Bush Hill Park Conservation Area Appraisals, the cricket ground contributes positively to the character of the conservation area by it's a sense of spaciousness which act as a visual stop to the view north along Wellington Road. The open space qualities and character of the cricket ground are unlikely to be affected by the proposed development.

6.13. The proposed block will form a townhouse façade, align with the neighbouring properties in terms of height and follow the historic recessed building line to the front, hence strengthening the continuous terraced townscape on this part of Wellington Road that is currently broke up by the subject building. Furthermore, the proposed new building will be separated from the closest dwelling within the Conservation Area by 12 dwellings, and thus would not affect the established public realm and building forms of the conservation area.

6.14. As such, it is not considered that the proposed development would adversely impact on the setting and character of the conservation area.

Land Use

- 6.15. DMD4 (Loss of Existing Residential Units) of the council's adopted DMD states that development involving the loss of existing residential units, particularly family homes, that can still be used, with or without adaptation, will only be permitted if there is no net loss of residential floorspace as a result of the redevelopment.
- 6.16. The proposed redevelopment of the existing family house to a new residential block of 7 flats including a family unit (3-bed flat) would lead to an increase in residential floorspace. Furthermore, the surrounding area is predominantly residential in nature, where residential development is considered compatible to its local context. Thus, the proposed redevelopment of the site would be a better use of the land, and compliance with the council's policies in terms of land use, adding much needed housing for the borough.
- 6.17. In light with the above assessments, the principle of development is considered acceptable, as the proposed demolition is not considered a substantial harm, and the proposed development would be optimum viable use and comfort the council's policies in terms of land use.

Residential Character

Density

- 6.18. Density assessments must acknowledge new guidance outlined in the NPPF and particularly the London Plan, which encourage greater flexibility in the application of policies to promote higher densities, although they must also be appropriate for the area.
- 6.19. Policy 3.4 (Table 3.2) of the London Plan sets standards for appropriate density levels with regards to location, existing building form, massing, and having regard to the PTAL (Public Transport Accessibility Level) score. According to the guidance in (Table 3.2) of the London Plan as the site has a site specific PTAL rating of 2 in a suburban location, an overall density of between 150-250 hr/ha may be acceptable.
- 6.20. The proposal would provide 7 x flats totalling 28 habitable rooms within a land of approximately 0.0856hec (856sqm). The density of the proposed development, based on habitable rooms per hectare, would equate to approximately 327 hr/ha (28/0.0856), which would slightly exceed the recognisable density threshold for a suburban area.
- 6.21. It must be noted that the criteria of density does not solely relate to the density matrix and full consideration must be given to the suitability of the site in terms of bulk, scale, mass and design of building/s in the context of the location and surrounding buildings; and standard and quality of accommodation proposed.

Scale and Design and impact on the character of the immediate surrounding

- 6.22. DMD44 of the council's adopted DMD seeking to preserve and enhance heritage assets requires that development affecting heritage assets or their setting should seek to complement the asset in all respects of their design, materials and detailing.

- 6.23. Concerns were raised that the proposed development is inconsistent with the pattern of locality and the townhouses on the east side of Wellington Road. Recognising the established pattern of development in the locality, however, it is important to note that the subject building is set within a context of modern developments of 2.5 and 3-storey properties, which were built in 1960s as replacements of former 19th century dwellings on individual or combined plots and constructed in a variety of styles, including semi-detached houses and residential blocks and terraced houses.
- 6.24. In the immediate vicinity of the application site, the character of the street scene is dominated by terraced townhouses (No.1a - No.1f Wellington Road) and terraced blocks (No.5 - No.11a Wellington Road) before meeting the conservation area to the south. All properties are three-storey, set back from the road behind a front garden/drive area.
- 6.25. The proposed development will be three-storey, with the upper storey contained within a mansard roof set back behind a parapet. The proposed form of the upper storey is referenced from to the roof form of 1 Wellington Road and its brick façade will be set at a stepping, transitional height between that of 1 and 5 Wellington Road.
- 6.26. Given its building height, building form and front building line, the overall massing and scale of the proposed block is then considered to sensitively respond to the immediate context, and thus acceptable.

Impact on Neighbouring Amenity

- 6.27. The vicinity of the application site is predominately residential in nature. Thus, from the perspective of neighbouring amenity, the proposal is assessed against the closest residential properties.

No.1 Wellington Road and No.5 Wellington Road

- 6.28. The proposed block would have a separation of 2.6m to the closest terraced houses at No.1f and No.5 Wellington Road. The single storey extension to the rear of the proposed building does not project beyond lines drawn at 45 degrees from the centre of the nearest ground floor rear windows to 1F and 5 Wellington Road and the upper storeys do not project beyond 30 degree lines drawn from the centre of the nearest first floor rear windows to 1F and 5 Wellington Road, in accordance with DMD 11, which applies to rear extensions.
- 6.29. The proposed 1.7 m high obscure glass side panels would provide privacy to and from balconies to the rear of the proposed building and thus will not result in an unacceptable loss of sunlight or daylight, and privacy or have an overbearing impact on the living conditions of the neighbouring properties or result in any loss of privacy.

Illingworth Way

- 6.30. DMD10 requires new development should maintain a minimum distance of 25m between rear facing windows of three-storey buildings, so as to overcome the adverse impact resulting in housing with inadequate light or privacy for the proposed or surrounding development.

- 6.31. The terraced dwellings on Illingworth Way directly opposite to the application site are No.14 - No.22 Illingworth Way at a distance of between 25.8m - 31m with an angle. The separation meets the distancing requirement of 25m as set out in DMD10. As such, the impact in terms of overlooking and dominance is not considered sufficient to warrant refusal.



Quality of Accommodation

- 6.32. Policy DMD 8 of the Development Management Document, Policy 3.5 of the London Plan and the London Housing SPG seek to ensure that new residential development is of a high quality standard internally, externally and in relation to their context. Policy 3.5 of London Plan specifically sets out the standards on minimum gross internal area (GIA) for different dwelling types.
- 6.33. The table below summarises the proposed schedule of accommodation against the requirements as set out in Policy 3.5 of London Plan.

	Proposed Housing type	Proposed GIA	Minimum GIA by London Plan	Proposed outdoor amenity space
Flat 1 (ground floor)	1-bed two person	50.7 m ²	50sqm	Communal garden
Flat 2 (ground floor)	3-bed five person	90.9 m ²	86sqm	Communal garden
Flat 3 (1 st floor)	2-bed four person	71.2 m ²	70sqm	balcony
Flat 4 (1 st floor)	2-bed Four person	72.1 m ²	70sqm	Communal garden
Flat 5 (1 st floor)	2-bed Four person	82.9 m ²	70sqm	balcony
Flat 6 (2 nd floor)	2-bed Four person	73.4 m ²	70sqm	Roof terrace

Flat 7 (2 nd floor)	2-bed Four person	91.1 m2	70sqm	Roof terrace
TOTAL		721.9 m2		

- 6.34. *GIA and internal layout:* All units are considered to satisfy the GIA requirements as set out in Policy 3.5 of London Plan. Having regards to the layouts of the proposed new flats, all units are well laid out and would have adequate resource for light and ventilation, and all room sizes are acceptable with specific regards to living/diners and single and double bedrooms.
- 6.35. It is noted that Flat 4 is single aspect leading to its kitchen without external window. However considering that all other units are dual aspect and exceed the housing standards in terms of GIA and layouts, one flat that is single aspect is not considered a sufficient ground for refusal.
- 6.36. *Outlook:* All units would be aspect onto the cricket ground or the rear garden, which is acceptable.
- 6.37. *Security:* A condition is imposed to ensure all units comply with secure by design standards.

Lifetime Homes

- 6.38. The London Plan and the council's Core Strategy require that all new housing is to be built to Lifetime Homes' standards. This is to enable a cost-effective way of providing adaptable homes that are able to be adapted to meet changing needs. The confirmation to deliver the Lifetime Homes will be secured via the imposition of conditions.

Provision of Amenity Space

- 6.39. DMD 9 (Amenity Space) requires that new residential development must provide quality private amenity space that is not significantly overlooked by surrounding development and meets or exceeds the minimum standards of 9sqm for flats with access to communal amenity space.
- 6.40. In terms of amenity space, all flat can access to a communal garden that is approximately 500qm, for the use of residents only.
- 6.41. The majority of the proposed flats have direct access to amenity space in the form of terraces or balconies, all of which exceed the minimum requirements on amenity space as set out in DMD9. It is noted that the top floor flats are well above the minimum standards. Whilst not all units have access to private outdoor amenity space, justifications are given to this instance owing to its communal garden which is more than 300sqm in size and the proposed development is located near public open space.
- 6.42. It is therefore considered that on balance, that the amenity provisions proposed is acceptable and in accordance with DMD9. In light with the above assessment, subject to conditions, the quality of the proposed accommodation is considered acceptable.

Transport Impact

- 6.43. The council's traffic and transportation department (T&T) was invited to comment on the application and has provided the following comments:

Car Parking

- 6.44. The proposed parking provision is seven spaces. Three spaces are located at the site frontage and four are located within the undercroft garage. The London Plan requires less than 1 parking space per unit for an overall development, so as to reduce car use. Given the PTAL of the site at 2, Officer considered that the number of car park space proposed is acceptable.

Vehicle parking layout and access

- 6.45. The vehicular access would remain as existing, which is acceptable. The layout of the spaces to the front of the site will allow them to be accessed and egressed in a forward gear. Whilst the proposed spaces are considered slightly tight, the required 6m behind the spaces is provided. It is also noted that Wellington Road is not a classified highway and therefore some reversing out of the site can be tolerated.

Cycle parking

- 6.46. Cycle standards require 14 spaces to be provided. The proposal shows seven spaces in the garage plus one visitor space to the frontage. This leaves a shortfall of six spaces and needs to be revised. Spaces should have regard to the London cycle parking design standards and as such a condition will be included to ensure the provision of 14 x spaces in place.

Pedestrian access

- 6.47. A new pedestrian access is proposed from the site frontage. This is acceptable.

Servicing

- 6.48. Refuse storage is to the rear of the site and is approximately 30m from the kerbside from Wellington, however it is noted that collection is to be from Illingworth Way and therefore can be easily accessed by the refuse collection team.

Impact on Trees

- 6.49. The council's Tree Officer was consulted on the proposal and confirmed that there are no significant arboricultural constraints as a result of the development.
- 6.50. A condition is therefore recommended requesting further details of proposed landscape to be approved prior to the commencement of the development.

Planning Obligation

S106 Contributions

- 6.51. The proposal would result in the creation of less than 10 units, or 1000sqm, and therefore the S106 contributions are not required.

CIL

- 6.52. The proposal would result in the creation of additional units, and thus will be Mayor CIL and Enfield CIL liable.

7. Conclusion

- 7.1. It is concluded that the proposed redevelopment of the site would not adversely impact on the character and appearance of the surrounding area or the Bush Hill Park Conservation Area, and would provide a good quality of accommodation to future occupiers while providing much needed additional housing to the borough. The scheme would not create an adverse impact to the neighbouring amenity or unacceptable impact to highway function and safety.

8. Recommendation

- 8.1. As such, approval is recommended, subject to conditions.

1. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the approved plans, as set out in the attached schedule which forms part of this notice.

Reason: For the avoidance of doubt and in the interests of proper planning.

3. That development shall not commence until a construction methodology statement has been submitted to and approved in writing by the Local Planning Authority. The construction methodology shall contain:

- a. arrangements for wheel cleaning;
- b. arrangements for the storage of materials;
- c. hours of work;
- d. arrangements for the securing of the site during construction;
- e. the arrangement for the parking of contractors' vehicles clear of the highway;
- f. The siting and design of any ancillary structures;
- g. Enclosure hoarding details; and
- h. A construction management plan written in accordance with the 'London Best Practice Guidance: The control of dust and emission from construction and demolition'.

The development shall be carried out in accordance with the approved construction methodology unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure the implementation of the development does not lead to damage to the existing highway and to minimise disruption to neighbouring properties and the environment.

4. Prior to the commencement of the development hereby approved (including all preparatory work), a scheme for the protection of the retained adjacent trees including a tree protection plan (TPP) and an arboricultural method statement (AMS) shall be submitted to and approved in writing by the local planning authority.

Specific issues to be dealt with in the TPP and AMS:

- a. Location and installation of services/ utilities/ drainage;
- b. Methods of demolition within the root protection area (RPA as defined in BS 5837: 2012) of the retained trees;
- c. Details of construction within the RPA or that may impact on the retained trees;
- d. Tree protection during construction indicated on a TPP and construction and construction activities clearly identified as prohibited in this area;
- e. Boundary treatments within the RPA;
- f. Methodology and detailed assessment of root pruning;
- g. Arboricultural supervision; and
- h. The method of protection for the retained trees.

The development thereafter shall be implemented in strict accordance with the approved details.

Reason: In the interest of biodiversity, sustainability, and to ensure that a satisfactory standard of visual amenity is provided and maintained in accordance with policies.

5. Prior to commencement of development above ground hereby approved, a sample panel and a schedule of materials to be used in all external elevations including walls, doors, windows front entrances and balconies within the development hereby permitted shall be submitted to and approved in writing by the Local Planning Authority before any building work commences and this condition shall apply notwithstanding any indications as to these matters which have been given in the application. The development shall thereafter be carried out solely in accordance with the approved details.

Reason: In order to ensure that the building has an acceptable external appearance and preserves the character and appearance of the conservation area.

6. Detailed drawings to a scale of 1:20 to confirm the detailed design and materials of the:
 - a. Details of all windows and doors at scale 1:10, windows shall be set at least 115mm within window reveal scale 1:10;
 - b. Details of balconies and private screening;
 - c. Details of brick parapet to front;
 - d. Details of the glazing level of all external windows

- e. Construction details of all external elements at 1:20 scale (including sections). This should include: entrances and exits, masonry, weathering and flashings, and parapets, roof, plant and plant screening, health and safety systems.
- f. Full drawn details (1:20 scale elevations, 1:2 scale detailing) of the railings and gates (including hinges, fixings, locks, finials); and
- g. Details and locations of rain water pipes.

Shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of development above ground hereby permitted. The development shall thereafter be carried out solely in accordance with the approved details.

Reason: To safeguard and enhance the visual amenities of the locality

- 7. Prior to the commencement of development other than the super structure, details and design of the hard landscaping and surfacing materials to be used within the development including footpaths, shared surfaces, access roads, parking areas, road markings and all other hard surfacing shall be submitted to and approved in writing by the Local Planning Authority. The surfacing shall be carried out in accordance with the approved detail before the development is occupied or use commences.

Reason: To ensure that the development does not prejudice highway safety and a satisfactory appearance.

- 8. Prior to the commencement of development other than the super structure, details of trees, shrubs, grass and all other soft landscaping, including the proposed elevated public garden on each floor, to be planted on the site shall be submitted to and approved in writing by the Local Planning Authority. The planting scheme shall be carried out in accordance with the approved details in the first planting season after completion or occupation of the development whichever is the sooner. Any planting which dies, becomes severely damaged or diseased within five years of planting shall be replaced with new planting in accordance with the approved details.

Reason: To provide a satisfactory appearance and ensure that the development does not prejudice highway safety.

- 9. The development shall not be occupied until details of refuse storage facilities including facilities for the recycling of waste to be provided within the development, in accordance with the London Borough of Enfield Waste and Recycling Planning Storage Guidance ENV 08/162, have been submitted to and approved in writing by the Local Planning Authority. The facilities shall be provided in accordance with the approved details before the development is occupied or use commences.

Reason: In the interests of amenity and the recycling of waste materials in support of the Boroughs waste reduction targets.

- 10. The development shall not be occupied until details of the siting and design of 14 x secure/covered cycle parking spaces have been submitted to and approved in writing by the Local Planning Authority. The approved details shall thereafter be installed and permanently retained for cycle parking.

Reason: To ensure the provision of cycle parking spaces in line with the Council's adopted standards.

11. Prior to commencement of development above ground a detailed 'Energy Statement' and relevant SAP calculations shall be submitted and approved in writing by the Local Planning Authority. Submitted details should demonstrate the energy efficiency of the development and shall provide for no less than 11% total CO₂ emissions arising from the operation of a development and its services over Part L of Building Regs 2010 ensuring that standard conversion factor indicate that natural gas is the primary heating fuel. The Energy Statement should outline how the reductions are achieved through the use of Fabric Energy Efficiency performance, energy efficient fittings, and the use of renewable technologies.

The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter. Following practical completion of works a final Energy Performance Certificate shall be submitted to an approved in writing by the Local Planning Authority. Where applicable, a Display Energy Certificate shall be submitted within 18 months following first occupation.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO₂ emission reduction targets are met in accordance with Policy CP20 of the Core Strategy, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan 2011 and the NPPF.

12. Following practical completion of works a final Energy Performance Certificate shall be submitted to an approved in writing by the Local Planning Authority prior to occupation of the development.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO₂ emission reduction targets are met in accordance with Policy CP20 of the Core Strategy, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan 2011 and the NPPF.

13. Notwithstanding the details of the development, hereby approved, a detailed crime prevention management and maintenance strategy detailing how the development will minimise opportunities for crime including details of a controlled access system, CCTV and external lighting shall be submitted to and approved in writing by the Local Planning Authority prior to the first occupation of the development.

Reason: To ensure that the development protects community safety.

14. No plumbing or pipes, other than rainwater pipes, shall be fixed to the external faces of buildings.

Reason: To safeguard and enhance the visual amenities of the locality.

15. Prior to the commencement of development above ground details of the redundant points of access and reinstatement of the footway shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented and permanently retained.

Reason: To provide safe and accessible linkages for pedestrians and cyclists and to preserve the interests of highway amenity.

16. No development shall take place until an assessment has been carried out into the potential for disposing of surface water by means of a sustainable urban drainage scheme (SUDS), in accordance with the national planning policy guidance, and the results of that assessment have been provided to the Local Planning Authority. The assessment shall take into account the design storm period and intensity (1 in 100 and 1 in 1 year storm events); methods to delay and control the surface water discharged from the site; and measures to prevent pollution of the receiving groundwater and/or surface waters.

Reason: To ensure that the proposal would not result in an unacceptable risk of flooding from surface water run-off or create an unacceptable risk of flooding elsewhere.

17. Surface water drainage works shall be carried out in accordance with details that have been submitted to and approved in writing by the Local Planning Authority before the development commences. Those details shall include a programme for implementing the works. Where, in the light of the assessment required by the above condition, the Local Planning Authority concludes that a SUDS scheme should be implemented, details of the works shall specify:
 - a management and maintenance plan, for the lifetime of the development, which shall include the arrangements for adoption by any public authority or statutory undertaker or any other arrangements to secure the operation of the scheme throughout its lifetime; and
 - the responsibilities of each party for implementation of the SUDS scheme, together with a timetable for that implementation.

Reason: To ensure implementation and maintenance, and that the proposal would not result in an unacceptable risk of flooding from surface water run-off or create an unacceptable risk of flooding elsewhere.

18. All the units shall comply with Lifetime Home standards in accordance with details to be submitted to and approved in writing by the LPA. The development shall be carried out strictly in accordance with the details approved and shall be maintained thereafter.

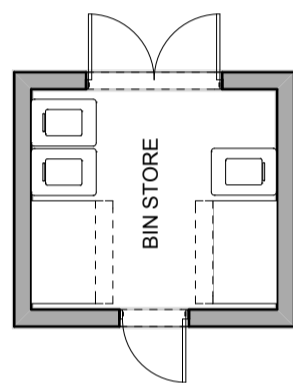
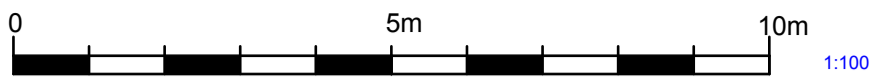
Reason : To ensure that the development allows for future adaptability of the home to meet with the needs of future residents over their life time in accordance with Policy CP4 of the Core Strategy and Policy 3.5 of the London Plan 2011.

19. Prior to occupation of the development, details of the boundary treatments shall be submitted to and approved in writing by the Local Planning Authority. The site shall be enclosed in accordance with details to be submitted to and approved in writing by the Local Planning Authority. The means of enclosure shall be erected in accordance with the approved detail before the development is occupied.

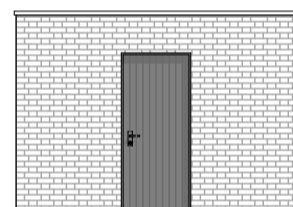
Reason: To ensure satisfactory appearance and safeguard the privacy, amenity and safety of adjoining occupiers and the public and in the interests of highway safety.

Informative:

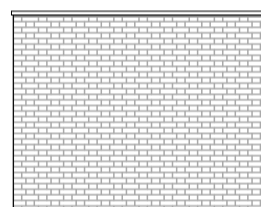
1. British Standard BS 5837 2012 - Trees in Relation to Demolition, Design and Construction



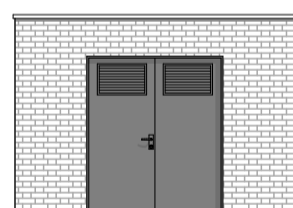
FLOOR PLAN



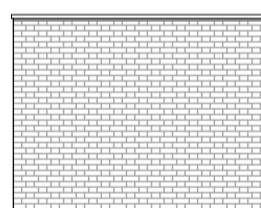
FRONT ELEVATION



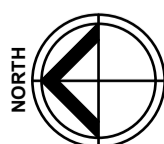
SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION



A 24/11/2016 Revised following client comments
Rev. Date Amendment

3 WELLINGTON ROAD
ENFIELD, LONDON

ERECTION OF BUILDING COMPRISING
7NO.OF FLATS

for
Mr A Christoforou

Drawing Title
BIN STORE

TEMPIETTO
ARCHITECTS

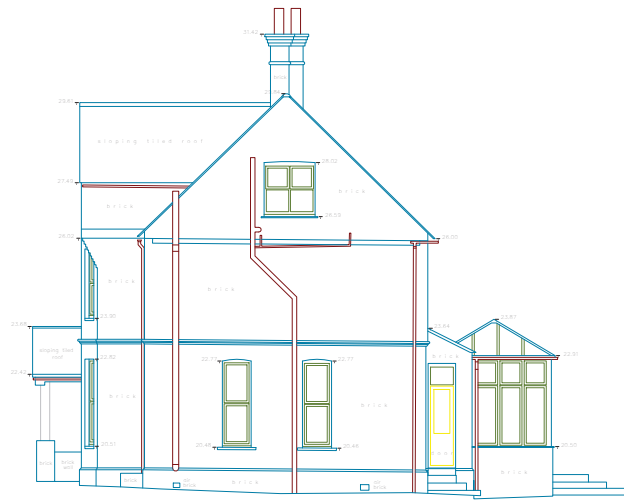


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Drawing No. 2042/14A

Scale: 1:100 @A3

Date: November 2016

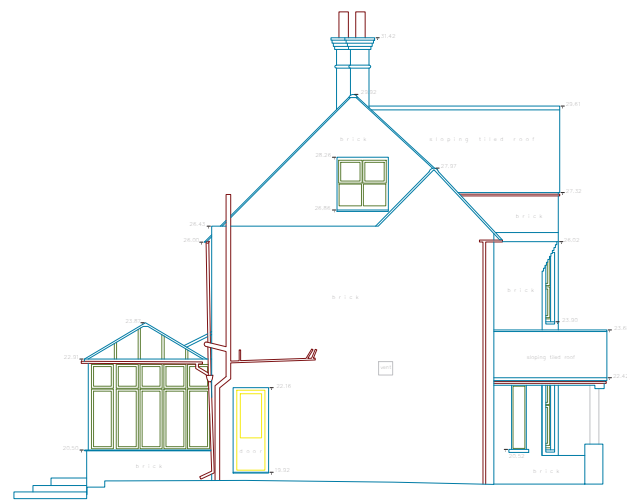


SOUTH ELEVATION



WEST ELEVATION

Datum 15.00m

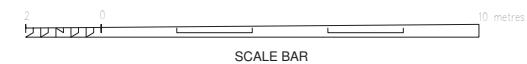


NORTH ELEVATION



EAST ELEVATION

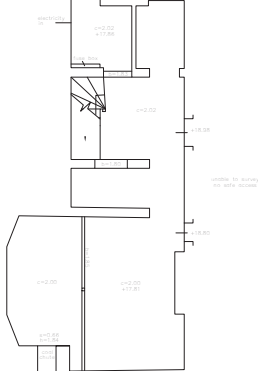
Datum 15.00m



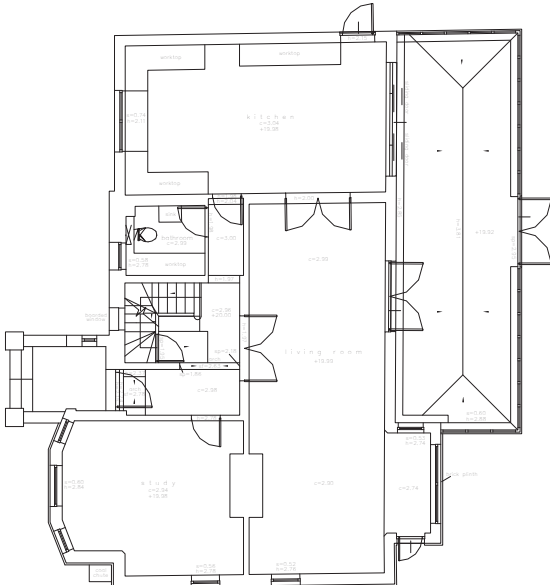
Rev	Description	Date

PROJECT Proposed demolition of existing dwelling and erection of building comprising 9 no. flats	
TITLE	Existing elevations
CLIENT	Mr A Christoforu
DATE 07/20/15	SCALE (@ A1) 1:100
PROJECT NUMBER 1125	DRG No. 15 0293-4

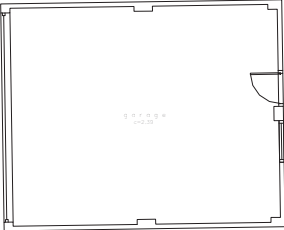
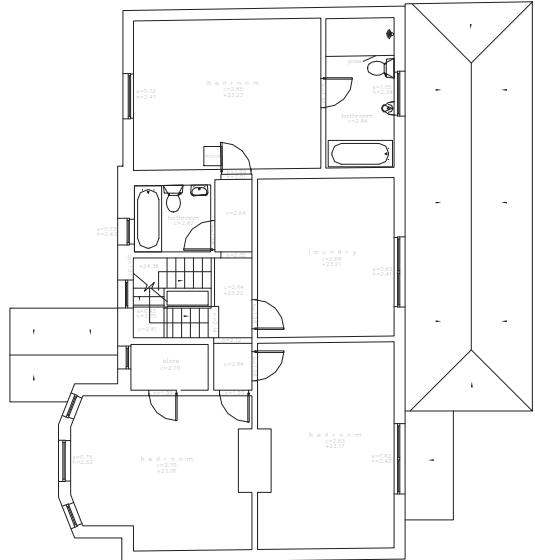
BASEMENT



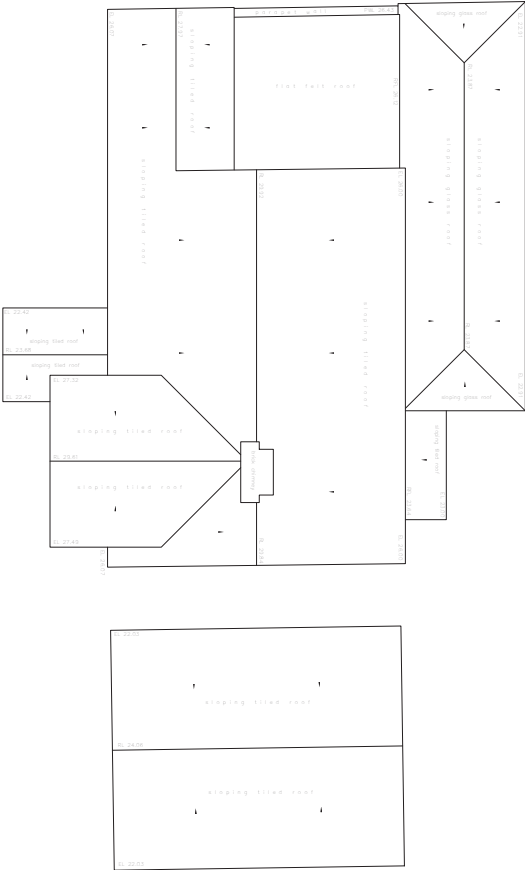
GROUND FLOOR



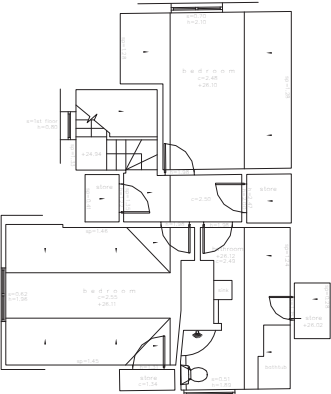
FIRST FLOOR



ROOF PLAN



SECOND FLOOR

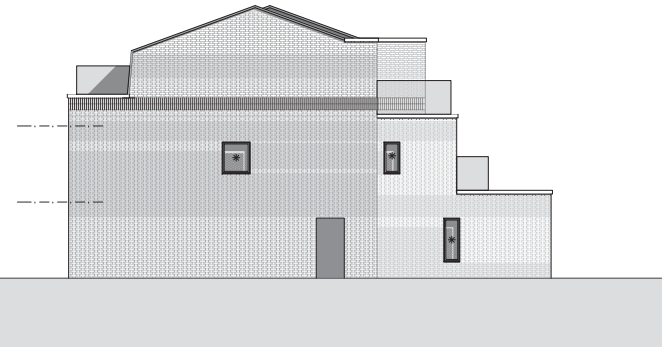


SCALE BAR

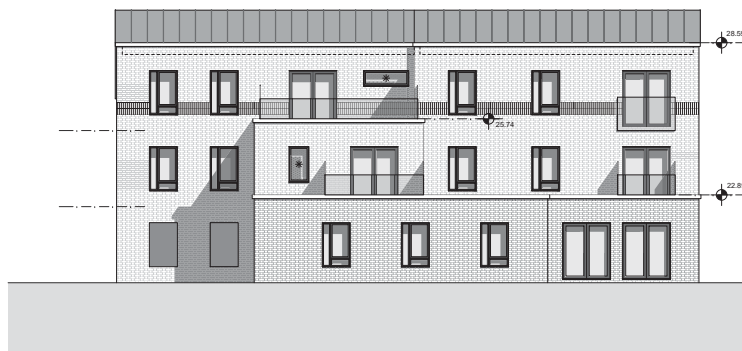
Rev	Description	Date
PROJECT Proposed demolition of existing dwelling and erection of building comprising 9 no. flats		
TITLE Existing floor plans		
CLIENT Mr A Christoforou		
DATE 07/24/15	SCALE (@ A1) 1:100	
PROJECT NUMBER 1125	DRG No. 15 0293-5	



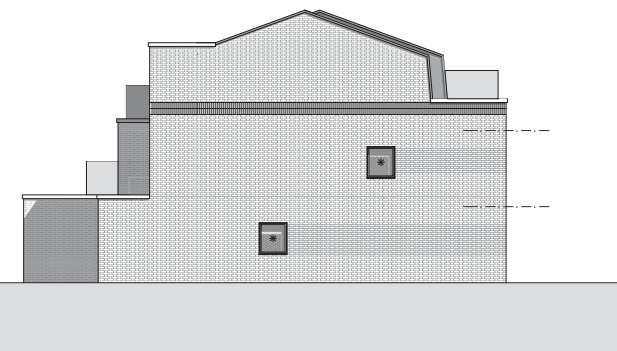
FRONT WEST ELEVATION



SIDE SOUTH ELEVATION



REAR EAST ELEVATION



SIDE NORTH ELEVATION

MATERIALS:

- ROOF: GRAPHITE GREY STANDING SEAM ZINC
- WALLS: RED BRICK IN FLEMISH BOND WITH SOLDIER COURSE BAND AND SLATE GREY POWDER COATED ALUMINUM REVEALS TO WINDOW OPENINGS AND BATH STONE COPINGS AND SURROUNDS TO ENTRANCE PORCH AND GARAGE ACCESS
- WINDOWS AND DOORS: SLATE GREY POWDER COATED ALUMINUM
- ENTRANCE DOOR: SLATE GREY TIMBER DOOR
- * OBSCURE GLAZING WITH ETCHED GLASS TO INNER PANE OF DOUBLE GLAZING

A 24/11/2016 Revised following client comments
 Rev. Date Amendment
 3 WELLINGTON ROAD
 ENFIELD, LONDON
 ERECTION OF BUILDING COMPRISING
 7NO. OF FLATS
 for
 Mr A Christoforou
 Drawing Title
 ELEVATIONS

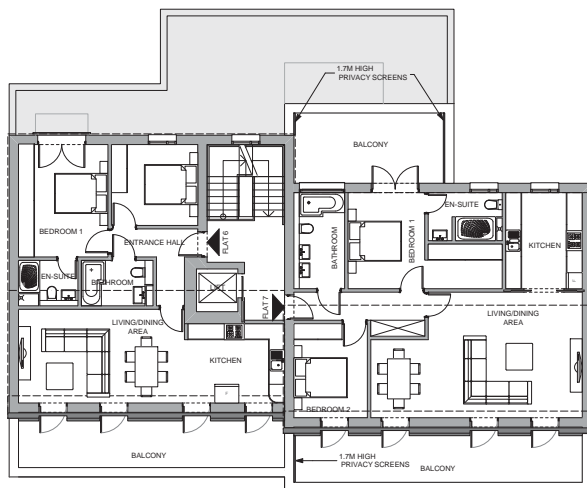
TEMPIETTO ARCHITECTS

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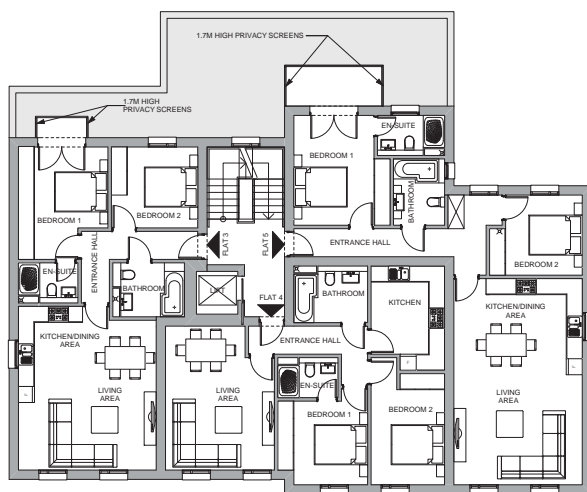
Drawing No. 2042/13A

Scale: 1:100 @A1

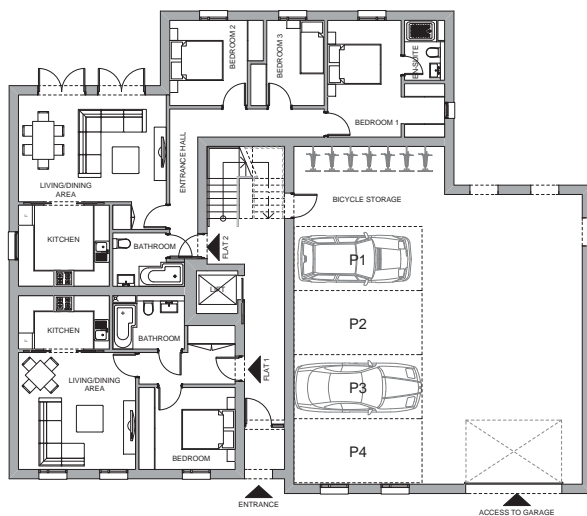
Date: November 2016



SECOND FLOOR PLAN



FIRST FLOOR PLAN



GROUND FLOOR PLAN

A 24/1/2016 Revised following client comments
Rev. Date Amendment
3 WELLINGTON ROAD
ENFIELD, LONDON
ERECTOR OF BUILDING COMPRISING
7NO. OF FLATS
for
Mr A Christoforo
Drawing Title
FLOOR PLANS



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Drawing No. 2042/12A

Scale: 1:100 @A1

Date: November 2016



WELLINGTON ROAD

- C 30.11.2016 Hatching revised
 - B 25.11.2016 Revised for issue.
 - A 09.11.2016 Revised for issue. Roof plan amended. Piers and hedges shown.
- | Rev. | Date | Amendment |
|------|------------|---|
| A | 09.11.2016 | Revised for issue. Roof plan amended. Piers and hedges shown. |

3 WELLINGTON ROAD
ENFIELD, LONDON
Erection of building comprising of 7 no. flats
for
Mr A Christoforu



Drawing Title: Site Layout Plan
Drawing No: 2042 / 10C
Scale: 1:100 @ A1
Date: October 2016



NO.1 WELLINGTON ROAD

NO.3 WELLINGTON ROAD

NO.5 WELLINGTON ROAD

B	24/11/2016	REVISED FOLLOWING CONSERVATION OFFICERS COMMENTS
A	09/11/2016	REVISED FOR ISSUE
Rev.	Date	Amendment

3 WELLINGTON ROAD
ENFIELD, LONDON

ERECTION OF BUILDING COMPRISING
7 NO. OF FLATS
for

Mr A Christoforou

Drawing Title

STREET ELEVATION

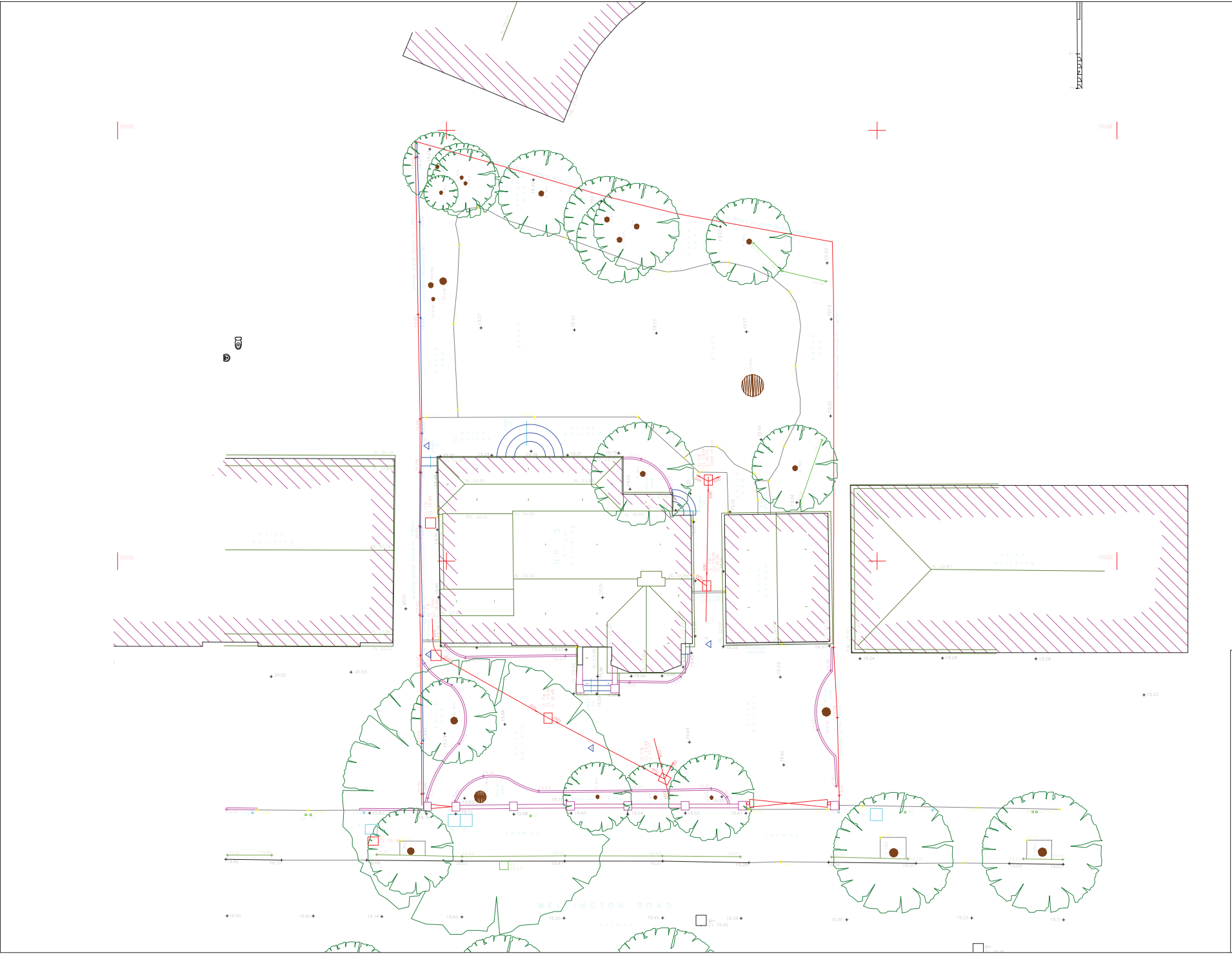


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Drawing No. 2042/11B

Scale: 1:100 @A2

Date: October 2016



Rev	Description	Date

PROJECT Proposed demolition of existing dwelling and erection of building comprising 8 no. flats	
TITLE Survey plan	
CLIENT Mr A Christoforou	
DATE 05/03/15	SCALE (@ A1) 1:100
PROJECT NUMBER 1125	DRG No. 15 0293-3

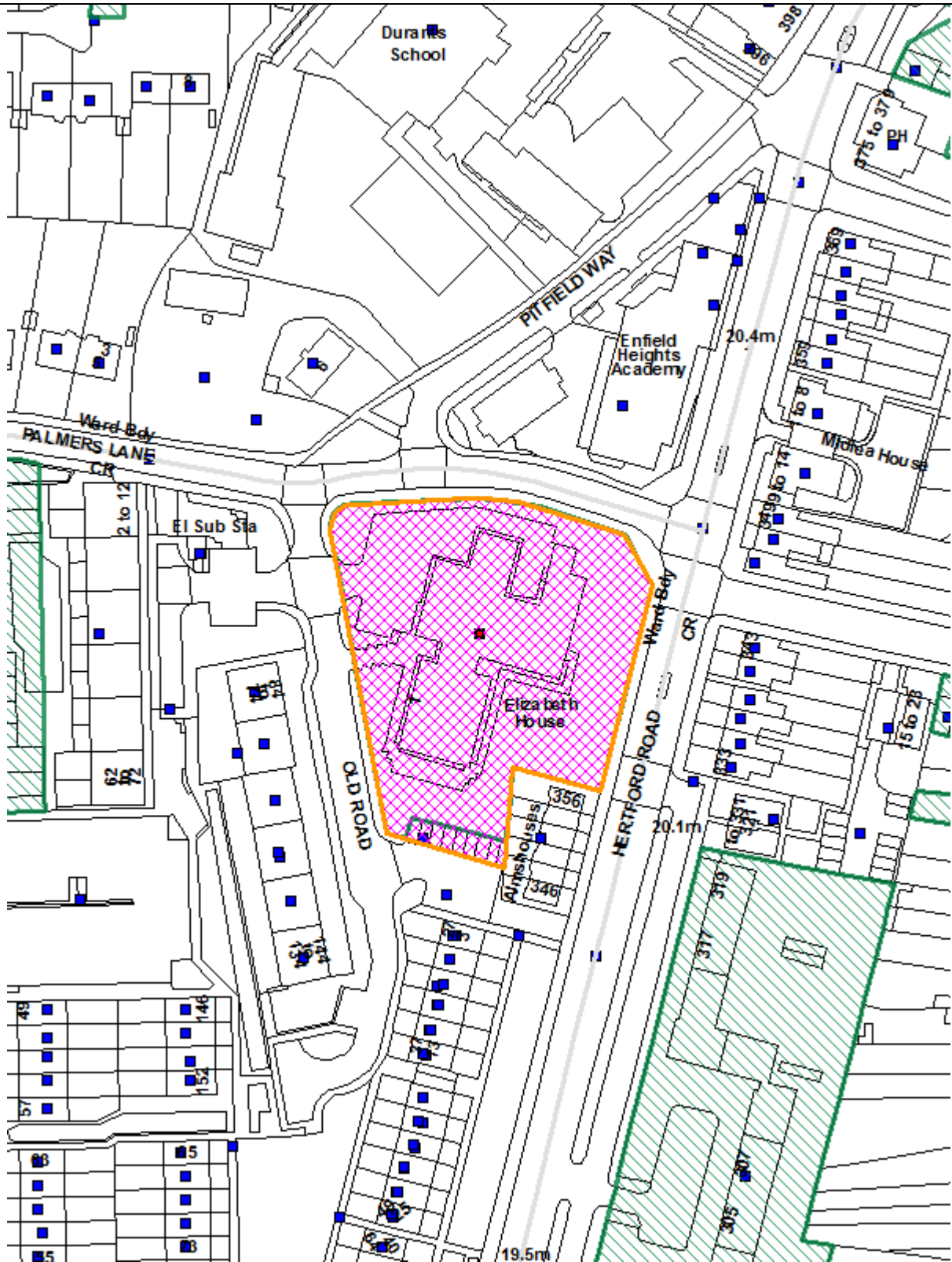
LONDON BOROUGH OF ENFIELD**PLANNING COMMITTEE****Date :** 24 January 2017**Report of**Assistant Director, Planning,
Highways & Transportation**Contact Officer:**Andy Higham
Andy Bates
Ms Claire Williams**Ward:**

Southbury

Ref: 16/03723/RE4**Category:** Full Application**LOCATION:** Residential Home, Former Elizabeth House, 1 Old Road, Enfield, EN3 5XX**PROPOSAL:** Minor material amendments to planning application ref: 14/04005/RE4 to allow changes to the Energy strategy.**Applicant Name & Address:**Mr Nad Thamotheram
Enfield Council
Civic Centre
Silver Street
Enfield
Greater London
EN1 3XY**Agent Name & Address:**Mr Adam Livermore
Atkins
4th Floor, The Octagon
Middleborough
Colchester
Essex
CO1 1TG**RECOMMENDATION:** That planning permission be **APPROVED** subject to conditions.**Note to members**

Applications of this nature would normally be considered under delegated powers but the application has been submitted by a department within the Council.

Ref: 16/03723/RE4 LOCATION: Residential Home, Elizabeth House, 1 Old Road, Enfield



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Scale 1:1250

North



1.0 Site and Surroundings

- 1.1 The proposal to accommodate a new care home on the site is almost complete.
- 1.2 The site contains several mature trees particularly along the western and eastern boundaries. The trees are not protected by virtue of being located within a Conservation Area or a Tree Preservation Order.
- 1.3 The surrounding area is predominantly residential but of a mixed character. To the south fronting Hertford Road are Grade II listed Wright's Almshouses which consist of a row of six mid-18th century two storey cottages. To the east along Hertford Road are two storey semi-detached properties and three storey blocks of flats. To the west along Old Road are 1970s style three and four storey blocks of flats; and to the north of the site on the corner of Palmers Lane and Hertford Road is Enfield Heights Academy, a two storey modern primary school building.
- 1.3 Hertford Road is a designated Principal Road and the site is located within a designated Critical Drainage Area.

2.0 Proposal

- 2.1 The application seeks a minor material amendment to planning application ref: 14/04005/RE4 to allow changes to the Energy strategy.

3.0 Relevant Planning History

- 3.1 14/04005/RE4 - Erection of a 3-storey seventy bedroomed residential care home with associated car and cycle parking, vehicular and pedestrian access and landscaping – Planning Committee agreed with the recommendation to grant planning permission subject to conditions at the Planning Committee on 16 December 2014 and the decision was issued on 15 January 2015.

4.0 Consultations

Public response

- 4.1 Letters were sent to 198 adjoining and nearby residents and no comments were received.

5.0 Relevant Policy

5.1 London Plan (2016)

- 3.1 Ensuring Life Chances for All
- 3.9 Mixed and Balanced Communities
- 3.16 Protection and Enhancement of Social Infrastructure
- 3.17 Health and Social Care Facilities
- 5.1 Climate Change Mitigation
- 5.2 Minimising Carbon Dioxide Emissions
- 5.3 Sustainable Design and Construction
- 5.5 Decentralised Energy Networks
- 5.6 Decentralised Energy in Development Proposals
- 5.7 Renewable Energy

- 5.8 Innovative Energy Technologies
 - 5.10 Urban Greening
 - 5.11 Green Roofs and Development Site Environs
 - 5.12 Flood Risk Management*
 - 5.13 Sustainable Drainage
 - 5.14 Water Quality and Wastewater Infrastructure
 - 5.15 Water Use and Supplies
 - 5.16 Waste Self Sufficiency
 - 5.21 Contaminated Land
 - 5.22 Hazardous Substances and Installations
 - 6.3 Assessing the Effects of Development on Transport Capacity
 - 6.9 Cycling
 - 6.10 Walking
 - 6.11 Smoothing Traffic Flow and Tackling Congestion
 - 6.12 Road Network Capacity
 - 6.13 Parking
 - 7.1 Building London's Neighbours and Communities
 - 7.2 An Inclusive Environment
 - 7.3 Designing out Crime
 - 7.4 Local Character
 - 7.5 Public Realm
 - 7.6 Architecture
 - 7.8 Heritage Assets and Archaeology
 - 7.14 Improving Air Quality
 - 7.15 Reducing Noise and Enhancing Soundscapes
 - 7.19 Biodiversity and Access to Nature
 - 7.21 Trees and Woodland
 - 8.2 Planning Obligations
 - 8.3 Community Infrastructure Levy
- 5.2 Core Strategy (November 2010)
- CP7 - Health and Social Care Facilities and the Wider Determinants of Health
 - CP9 - Supporting Community Cohesion
 - CP20 - Sustainable Energy Use and Energy Infrastructure
 - CP21 – Delivering Sustainable Water Supply, Drainage and Sewerage Infrastructure
 - CP24 - The Road Network
 - CP25 - Pedestrians and Cyclists
 - CP28 – Managing Flood Risk through Development
 - CP30 – Maintaining and Improving the Quality of the Built and Open Environment
 - CP31 - Built and Landscape Heritage
 - CP32 - Pollution
 - CP36 - Biodiversity
 - CP40 - North East Enfield
 - CP41 - Ponders End
 - CP46 – Infrastructure Contributions
- 5.3 DMD (November 2014)
- DMD6 Residential Character
 - DMD8 General Standards for New Residential Development
 - DMD9 Amenity Space
 - DMD10 Distancing

- DMD15 Specialist Housing Needs
- DMD37 High Quality and Design Led Development
- DMD45 Parking Standards and Layout
- DMD46 Vehicle Crossover and Dropped Kerbs
- DMD49 Sustainable Design and Construction Statements
- DMD51 Energy Efficiency Standards
- DMD52 Decentralised Energy Networks
- DMD53 Low and Zero Carbon Technology
- DMD54 Allowable Solutions
- DMD55 Use of Roofspace/ Vertical Surfaces
- DMD56 Heating and Cooling
- DMD57 Responsible Sourcing Of Materials, Waste Minimisation And Green Procurement
- DMD58 Water Efficiency

5.4 Other Policy

- National Planning Policy Framework (NPPF)
- National Planning Practice Guidance (NPPG)
- North East Enfield Area Action Plan (2016)
- Section 106 Supplementary Planning Document (adopted 2016)
- Ponders End Central Development Brief (adopted May 2011)

6.0 Analysis

- 6.1 On the basis of the Government's definition – "A minor material amendment is one whose scale and nature results in a development which is not substantially different from the one which has been approved" – it is considered that the proposed development could reasonably constitute a minor-material amendment.
- 6.2 Policy DMD49 states that all new development must achieve the highest sustainable design and construction standards having regard to technical feasibility and economic viability.
- 6.3 Policy DMD51 of the Development Management Document states that all developments will be required to demonstrate how the proposal minimises energy related CO2 emissions in accordance with the following energy hierarchy:
 - a. Maximising fabric energy efficiency and the benefits of passive design;
 - b. Utilising the potential for connection to an existing or proposed decentralised energy network in accordance with DMD 52 'Decentralised Energy Networks';
 - c. Demonstrating the feasibility and use of low or zero carbon technology in accordance with DMD 53 'Low and Zero Carbon Technology'; and, where applicable,
 - d. Financial contributions to on, near or off-site carbon reduction strategies in accordance with DMD 54 'Allowable Solutions'.
- 6.4 It was acknowledged within the committee report for the original planning application ref. no. 14/04005/RE4 that a document setting out compliance with the 2010 Building Regulations had been submitted with the planning application and there was a shortfall, but having regard to economic viability and the sustainable design features that had been incorporated into the scheme that the shortfall was considered acceptable.

- 6.5 Under application ref. no. 14/04005/RE4 sustainability and energy issues were set out within the submitted Design and Access Statement, however a detailed energy statement was not provided and therefore a condition was attached to the permission as detailed below.

Within three months of commencement of works an 'Energy Statement' shall be submitted to and approved in writing by the Local Planning Authority. The development shall provide for no less than a 35% improvement in total CO2 emissions arising from the operation of a development and its services over Part L of Building Regs 2013 utilising gas as the primary heating fuel. The maintenance and management strategy for the continued operation of the Photovoltaic cladding panels and the flat plate solar hot water collectors shall be submitted to and approved by the Local Planning Authority. The Energy Statement should outline how the reductions are achieved through the use of Fabric Energy Efficiency performance, energy efficient fittings, and the use of renewable technologies.

The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO2 emission reduction targets are met in accordance with Policy CP20 of the Core Strategy, DMD51 of the Development Management Document, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan 2011 and the NPPF.

- 6.6 An Energy Statement was submitted with the current application. The document sets out that the original planning submission documentation included a BRUKL document showing a 39.6% improvement over Part L1A; but the document was based upon the 2010 regulations rather than the required 2013 regulations and is therefore not relevant. The document has been updated to reflect the 2013 regulations which has reduced the building performance over the building regulations and resulted in a development that does not fully accord with relevant policies of the London Plan and the Enfield Local Plan.
- 6.7 In accordance with Policy DMD49 'Sustainable Design and Construction Statements' provisions for providing near-site or off-site reductions through a set of agreed allowable solutions or financial contribution will be required to fully off-set any shortfall. The development shall provide for no less than a 35% improvement in total CO2 emissions arising from the operation of a development and its services over Part L of Building Regs 2013. The updated BRUKL shows that the development achieves a 20.2% improvement over Part L 2013 building regulations. The following information sets out the shortfall in tonnes of carbon/year and, in accordance with the formula adopted by the S106 SPD, a calculation of the cost to off-set the remaining carbon over the lifetime of the development which is currently set at 30 years. The financial contribution will be a one off payment that would be paid before the planning decision is issued.

Carbon dioxide emissions after each stage of the energy hierarchy:

	<i>Carbon Dioxide Emissions (Tonnes CO₂ per annum)</i>
--	---

	<i>Regulated</i>	<i>Unregulated</i>
<i>Baseline: Building Regulations 2013 Part L Compliant Development</i>	38.6	25
<i>After energy demand reduction</i>	34.5	25
<i>After CHP</i>	34.5	25
<i>After renewable energy</i>	30.8	25

Regulated carbon dioxide savings from each stage of the hierarchy:

	<i>Regulated Carbon Dioxide Savings</i>	
	<i>(Tonnes CO₂ per annum)</i>	<i>(%)</i>
<i>Savings from energy demand reductions</i>	4.1	10.6
<i>Savings from CHP</i>	0.0	0.0
<i>Savings from renewable energy</i>	3.7	10.7
<i>Total Cumulative Savings</i>	7.8	20.2
<i>Total Target Savings</i>	13.5	20.2
<i>Annual Surplus</i>	-5.7	-

Based on the calculation above, the financial contribution equates to: £60/ tonnes x 5.7 tonne CO₂ shortfall x 30 years = £10,260.00

6.8 Along with re-issuing all of the relevant conditions attached to the original permission including those that have been discharged, a condition will be attached requiring a maintenance and management strategy for the continued operation of the photovoltaic cladding panels and the flat plate solar hot water collectors to be submitted to and approved by the Local Planning Authority within three months of the date of this decision.

7.0 Conclusion

7.1 The proposed changes to the energy strategy will ensure that the carbon dioxide emission reductions would be in accordance with relevant adopted planning policies in the London Plan and Enfield Local Plan.

8.0 Recommendation

That, PLANNING PERMISSION BE GRANTED subject to the following conditions:

1. The development hereby permitted shall be carried out in accordance with the approved plans including plans(s) that may have been revised, as set out in the attached schedule which forms part of this notice.

Reason: For the avoidance of doubt and in the interests of proper planning.

2. The development shall be constructed and maintained strictly in accordance with the external finishing materials approved under application reference number 16/00278/CND

Reason: To ensure a satisfactory external appearance.

3. Details of the external surfacing materials to be used within the development including footpaths, access roads and parking areas and road markings shall be submitted to and approved in writing by the Local Planning Authority. The surfacing shall be carried out in accordance with the approved details before the development is occupied.

Reason: To ensure that the development does not prejudice highway safety and a satisfactory appearance.

4. The site shall be enclosed in accordance with details to be submitted to and approved in writing by the Local Planning Authority. A plan indicating the positions, design, materials and type of enclosures to be erected. The means of enclosure shall be erected in accordance with the approved details before the development is occupied and maintained as such thereafter.

Reason: To ensure satisfactory appearance and safeguard the privacy, amenity and safety of adjoining occupiers and the public and in the interests of highway safety.

5. Details of the construction of any access roads and junctions and any other highway alterations associated with the development shall be submitted to and approved in writing by the Local Planning Authority. These works shall be carried out in accordance with the approved details before development is occupied or the use commences.

Reason: To ensure that the development complies with Local Plan Policies and does not prejudice conditions of safety or traffic flow on adjoining highways.

6. The planting scheme shall be carried out in accordance with the approved details in the first planting season after completion or occupation of the development whichever is the sooner. Any planting which dies, becomes severely damaged or diseased within five years of planting shall be replaced with new planting in accordance with the approved details.

Reason: To provide a satisfactory appearance, ensure that the development does not prejudice highway safety and ensure that the ecological value of the site is enhanced post development in line with the Biodiversity Action Plan, CP36 of the Core Strategy and the London Plan.

7. The development shall be constructed and maintained strictly in accordance with the details of the refuse and recycling storage facilities approved under application reference number 15/03829/CND.

Reason: To In the interests of amenity and the recycling of waste materials in support of the Boroughs waste reduction targets.

8. The development shall be constructed and maintained strictly in accordance with the details of the cycle parking spaces approved under application reference number 15/03829/CND.

Reason: To ensure the provision of cycle parking spaces in line with the Council's adopted standards.

9. The development shall be constructed in accordance with the details of the facilities and methodology for cleaning the wheels of construction vehicles leaving the site approved under application reference no. 15/01543/CND. The approved facilities shall be used and maintained during the construction period.

Reason: To ensure that the implementation of the development does not lead to damage to the existing highway and to minimise disruption to neighbouring properties and the environment.

10. The development shall be constructed in accordance with the Construction Traffic Management approved under application reference no. 15/01543/CND.

Reason: To ensure that the implementation of the development does not lead to damage to the existing highway and to minimise disruption to neighbouring properties and the environment.

11. The development shall be constructed in accordance with the contamination details approved under application reference no. 15/00916/CND.

Reason: To avoid risk to public health and the environment.

12. Following practical completion of works a final Energy Performance Certificate with accompanying Building Regulations compliance report shall be submitted to an approved in writing by the Local Planning Authority and shall reflect the carbon reduction targets agreed. Where applicable, a Display Energy Certificate shall be submitted within 18 months following first occupation.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO₂ emission reduction targets are met in accordance with Policy CP20 of the Core Strategy, DMD51 of the Development Management Document, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan 2011 and the NPPF.

13. A maintenance and management strategy for the continued operation of the photovoltaic cladding panels and the flat plate solar hot water collectors shall be submitted to and approved by the Local Planning Authority within three months of the date of this decision.

The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO₂ emission reduction targets are met in accordance with Policy CP20 of the Core Strategy, DMD51 of the

Development Management Document, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan 2011 and the NPPF.

14. Evidence confirming that the development achieves a BREEAM (2014 version or relevant equivalent if this is replaced or superseded) rating of no less than 'Very Good' shall be submitted to and approved in writing by the Local planning Authority. The evidence required shall be provided in the following formats and at the following times:
 - a. a design stage assessment, conducted by an accredited Code / BREEAM Assessor and supported by relevant BRE interim certificates for each of the units, shall be submitted at pre-construction stage within 3 month of commencement of superstructure works on site; and,
 - b. a post construction assessment, conducted by and accredited Code / BREEAM Assessor and supported by relevant BRE accreditation certificates for each of the units, shall be submitted following the practical completion of the development and within 3 months of first occupation.

The development shall be carried out strictly in accordance with the details so approved, shall be maintained as such thereafter and no change there from shall take place without the prior approval of the Local Planning Authority.

Reason: In the interests of addressing climate change and to secure sustainable development in accordance with the strategic objectives of the Council and Policies 3.5, 5.2, 5.3, 5.7, 5.9, 5.12, 5.13, 5.15, 5.16, 5.18, 5.20 & 6.9 of the London Plan 2011 as well as the NPPF.

15. The development shall be carried out strictly in accordance with the details of the internal consumption of potable water approved under application reference no. 16/00319/CND and maintained as such thereafter.

Reason: To promote water conservation and efficiency measures in all new developments and where possible in the retrofitting of existing stock in accordance with Policy CP21 of the Core Strategy, DMD58 of the Development Management Document and Policy 5.15 of the London Plan.

16. The development shall be carried out strictly in accordance with the details of the rainwater recycling system approved under application reference no. 15/03828/CND and maintained as such thereafter.

Reason: To promote water conservation and efficiency measures in all new developments and where possible in the retrofitting of existing stock in accordance with Policy CP21 of the Core Strategy, Policies DMD58 and DMD61 of the Development Management Document and Policy 5.15 of the London Plan.

17. The development shall be carried out strictly in accordance with the surface drainage details approved under application reference no. 15/03554/CND and maintained as such thereafter.

Reason: To ensure the sustainable management of water, minimise flood risk and to minimise discharge of surface water outside of the curtilage of the property in accordance with Policy CP28 of the Core Strategy, DMD61 of the

Development Management Document, Policies 5.12 & 5.13 of the London Plan and the NPPF.

18. All areas of hedges, scrub or similar vegetation where birds may nest which are to be removed as part of the development, are to be cleared outside the bird-nesting season (March - August inclusive) or if clearance during the bird-nesting season cannot reasonably be avoided, a suitably qualified ecologist will check the areas to be removed immediately prior to clearance and advise whether nesting birds are present. If active nests are recorded, no vegetation clearance or other works that may disturb active nests shall proceed until all young have fledged the nest.

Reason: To ensure that wildlife is not adversely impacted by the proposed development in accordance with national wildlife legislation and in line with CP36 of the Core Strategy. Nesting birds are protected under the Wildlife and Countryside Act, 1981 (as amended).

19. The development shall be carried out strictly in accordance with the lighting scheme approved under application reference no. 15/03829/CND.

Reason: This condition will ensure maximum benefits of the biodiversity enhancements to be installed as part of the development and to avoid adverse impacts on bats and other wildlife in line with CP36 of the Core Strategy and wildlife legislation.

20. Prior to occupation a feasibility study outlining the details of the biodiversity (green/brown) roof(s) shall be submitted and approved in writing by the Local Planning Authority. The biodiversity (green/brown) roof(s) shall be:
 - a. Biodiversity based with extensive substrate base (depth 80-150mm);
 - b. Planted/seeded with an agreed mix of species within the first planting season following practical completion of the building works.

The biodiversity (green/brown) roof shall not be used for any recreational purpose and access shall only be for the purposes of the maintenance and repair or means of emergency escape. Details shall include full ongoing management plan and maintenance strategy/schedule for the green/brown roof to be approved in writing by the Local Planning Authority.

If deemed feasible the development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.

Reason: To minimise the impact of the development on the ecological value of the area and to ensure the development provides the maximum possible provision towards the creation of habitats and valuable areas for biodiversity in accordance with Policy CP36 of the Core Strategy, DMD49 & 55 of the Development Management Document, the Biodiversity Action Plan and Policies 5.11 & 7.19 of the London Plan.

21. The development shall be carried out and maintained in accordance with the tree protection plan approved under application reference no. 15/01543/CND.

Reason: To protect existing planting during construction.

22. The development shall be carried out in accordance with the details approved in relation to considerate constructors scheme under application reference number 15/01543/CND.

Reason: To ensure the implementation of the development does not adversely impact on the surrounding area and to minimise disruption to neighbouring properties.

23. The development shall be implemented in accordance with the Site Waste Management Plan details approved under application reference no. 15/01543/CND.

Reason: To maximise the amount of waste diverted from landfill consistent with the waste hierarchy and strategic targets set by Policy DMD57 of the Development Management Document and Policies 5.17, 5.18, 5.19, 5.20 of the London Plan.

24. The development shall be carried out in accordance with the details approved in relation to electric charging points under application reference number 15/03829/CND. All electric charging points shall be installed in accordance with the approved details prior to occupation of the development and permanently maintained thereafter.

Reason: To ensure that the development complies with the sustainable development policy requirements of the London Plan.

25. The applicant shall give written notice to the Local Planning Authority of 10 days prior to carrying out the approved tree works and any operations that present a particular risk to trees (e.g. demolition within or close to Root Protection Areas, excavations within or close to a Root Protection Areas, piling, carnage).

Reason: To screen, preserve and enhance the development and ensure adequate landscape treatment in the interest of amenity and that the retained trees, shrubs and hedgerows on the site or in adjacent sites are not adversely affected by any aspect of the development. In accordance with planning policies CP30, CP31, CP33, CP34 and CP36 of the Core Strategy and Policies DMD 80 and DMD 81 of the Development Management Document.

26. The following activities must not be carried out under any circumstances:

a, No fires shall be lit within 10 metres of the nearest point of the canopy of any retained tree.

b, No works shall proceed until the appropriate Tree Protection Barriers are in place, with the exception of initial tree works.

c, No equipment, signage, fencing, tree protection barriers, materials, components, vehicles or structures shall be attached to or supported by a retained tree.

d, No mixing of cement or use of other materials or substances shall take place within Root Protection Areas, or close enough to a Root Protection Area that seepage or displacement of those materials or substances could cause them to enter a Root Protection Area

e, No alterations or variations to the approved works or tree protection schemes shall be carried out without the prior written approval of the Local Planning Authority.

Reason: To screen, preserve and enhance the development and ensure adequate landscape treatment in the interest of amenity and that the retained trees, shrubs and hedgerows on the site or in adjacent sites are not adversely affected by any aspect of the development. In accordance with planning policies CP30, CP31, CP33, CP34 and CP36 of the Core Strategy and Policies DMD 80 and DMD 81 of the Development Management Document.

27. The development shall be carried out in accordance with the scheme of supervision for the arboricultural protection measures approved under application reference no. 15/01543/CND.

Reason: To screen, preserve and enhance the development and ensure adequate landscape treatment in the interest of amenity and that the retained trees, shrubs and hedgerows on the site or in adjacent sites are not adversely affected by any aspect of the development. In accordance with planning policies CP30, CP31, CP33, CP34 and CP36 of the Core Strategy and Policies DMD 80 and DMD 81 of the Development Management Document.

28. In this condition a "retained tree" is an existing tree which is to be retained in accordance with the approved plans and particulars and any recommendations therein; and paragraphs (a) and (b) below shall have effect until the expiration of 5 years from the date of the (occupation of the building/commencement of use of the approved development) for its permitted use.

a, No retained tree shall be cut down, uprooted or destroyed, nor shall any retained tree be pruned in any manner, be it branches, stems or roots, other than in accordance with the approved plans and particulars, without the prior written approval of the Local Planning Authority. All tree works shall be carried out in accordance with BS 3998.

b, If any retained tree is cut down, uprooted, destroyed or dies, another tree shall be planted at the same place and that tree shall be of such size and species, and shall be planted at such time, as may be specified in writing by the Local Planning Authority.

Reason: To screen, preserve and enhance the development and ensure adequate landscape treatment in the interest of amenity and that the retained trees, shrubs and hedgerows on the site or in adjacent sites are not adversely affected by any aspect of the development. In accordance with planning policies CP30, CP31, CP33, CP34 and CP36 of the Core Strategy and Policies DMD 80 and DMD 81 of the Development Management Document.

29. The development shall be implemented in accordance with the travel plan approved under application reference no. 16/03517/CND.

Reason: In order to deliver sustainable transport objectives including a reduction in single occupancy car journeys and the increased use of public transport, walking & cycling.

30. The development shall not be occupied until an on street loading bay has been provided as shown on approved drawing number 5130303-ATK-Z1-ZZ-PL-A-4011 Rev PL4. The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.

Reason: To ensure that the development does not prejudice highway safety.

31. The development shall be carried out in accordance with the piling method statement approved under application reference no. 15/04914/CND.

Reason: To ensure that the water quality is not detrimentally affected by the development in line with Policy CP32 of the Core Strategy and DMD70 of the DMD.

32. The development shall be carried out in accordance with the water abstraction details approved under application reference no. 15/03829/CND.

Reason: To ensure that the water quality is not detrimentally affected by the development in line with Policy CP32 of the Core Strategy and DMD70 of the DMD.

33. Details of the materials of the mechanical ventilation grilles/ vents to be used including their colour shall be submitted to and approved in writing by the Local Planning Authority. The development shall be constructed in accordance with the approved details and maintained as such thereafter.

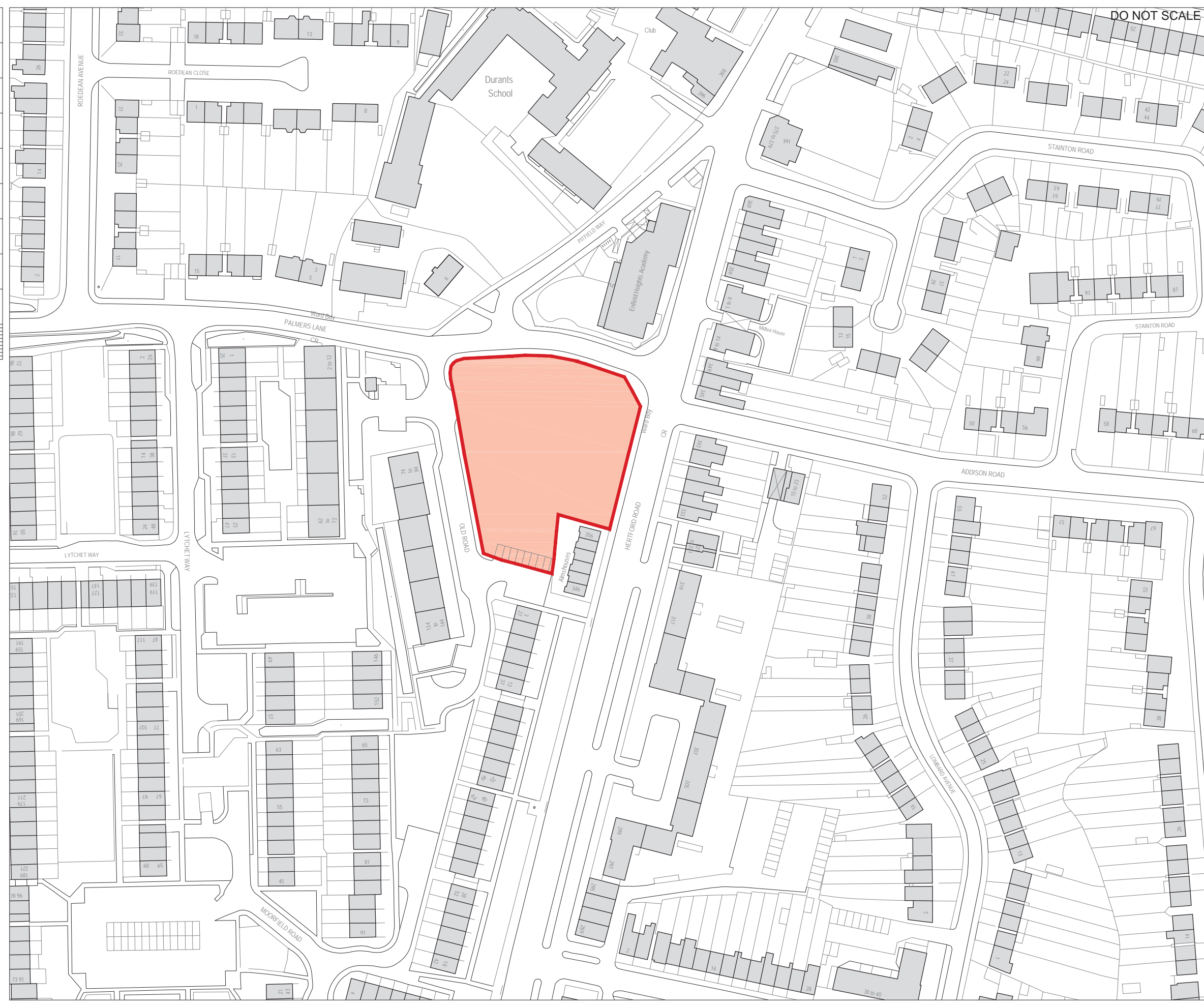
Reason: To ensure a satisfactory external appearance.

Informative

1. Thames Water advises the following:
 - Where a development proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. Thames Water can be contacted on 0845 850 2777
 - Thames Water will aim to provide customers with a minimum pressure of 10m head (approx 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.
 - Contact Thames Water Developer Services on 0845 850 2777 to discuss the details of a piling method statement if one is required.
 - Contact the Groundwater Resources Team by email at GroundwaterResources@Thameswater.co.uk or by telephone on 0203 577 3603 to discuss the information required relating to protecting the water abstraction source.
 - Approval should be sought from Thames Water where the erection of a building or an extension to a building or underpinning work would be over the line of, or would come within 3 metres of, a public sewer. Thames Water will usually refuse such approval in respect of the construction of new buildings, but approval may be granted in some cases for extensions to existing buildings. The applicant is advised to contact Thames Water Developer Services on 0845 850 2777 to discuss the options available at the site.
2. The applicant is advised to take into consideration the principles and practices of Secure by Design including Section 1 Design and Layout and Section 2

Physical Security requirements within the current Secure by Design New Homes 2010.

100
Millimetres
0 10



DO NOT SCALE

SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION
 In addition to the hazards/risks normally associated with the types of work detailed on this drawing, note the following:


CONSTRUCTION

MAINTENANCE/CLEANING

DECOMMISSIONING/DEMOLITION

It is assumed that all works will be carried out by a competent contractor working, where appropriate, to an approved method statement

Key:

 Site location boundary



PL1	30.09.2014	PLANNING ISSUE	LS	JH	JH
Rev.	Date	Description	By	Chkd	Appd
Drawing Status	FOR PLANNING			PL	

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Client
ENFIELD Council

Project Title
Proposed 70 Bedroom Care Home

Drawing Title
Site Location Plan

Scale	1:1250	Designed	JH	Drawn	JH	Checked	JH	Authorised	JH
Original Size	A3	Date	17/04/2014	Date	17/04/2014	Date	17/04/2014	Date	17/04/2014
Drawing Number	5130303-ATK-Z1-ZZ-PL-A-4010							Revision	PL1

LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date: 24th January 2017

Report of
Assistant Director, Planning,
Highways & Transportation

Contact Officer:
Andy Higham
Kevin Tohill
Andrew Parker

Ward: Palmers Green

Application Number: 16/04869/HOU

Category: Householder

LOCATION: 137 CONNAUGHT GARDENS, LONDON, N13 5BU

PROPOSAL: Single storey rear extension with roof lantern and conversion of garage into habitable room involving alterations to front elevation.

Applicant Name & Address:

Ms Xenia Dines
137, Connaught Gardens
London,
N13 5BU

Agent Name & Address:

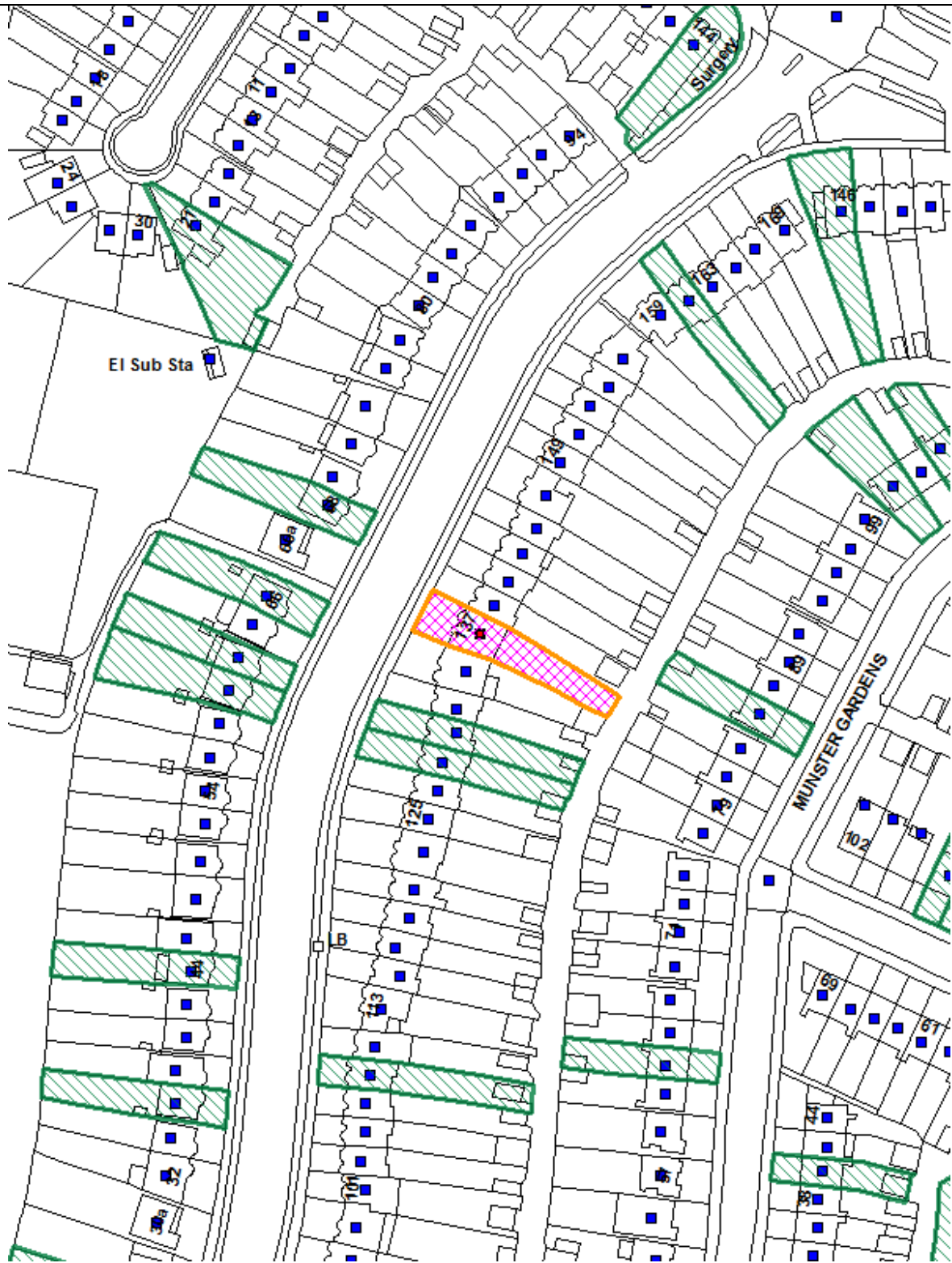
Mr Paul Cramphorn
Detailed Planning Ltd
Unit 6, St Albans House
Golders Green
NW11 7QE

RECOMMENDATION: That planning permission be **GRANTED** subject to conditions.

Note for Members

Although an application of this nature would normally be determined under delegated authority, this application is to be determined by the Planning Committee as the applicant is a ward councillor.

Ref: 16/04869/HOU LOCATION: 137 Connaught Gardens, London, N13 5BU,



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Scale 1:1250

North



1. Site and Surroundings

- 1.1 The property is a two storey end of terrace dwelling situated on the eastern side of Connaught Gardens. The property has a garage which is attached to side of the property with a single storey kitchen located immediately to the rear. The single storey structures extend up to the boundary with No.135 Connaught Gardens. To the rear the property there is a part two storey, part single storey projection.
- 1.2 The adjacent end of terrace dwelling No.135 Connaught Gardens is located to the south of the host site. This property also has a garage attached to side of the property with a single storey kitchen located to the rear. These single storey elements are linked to the garage and kitchen at the host site along the shared boundary between the two properties. The property has a part two storey, part single storey rear projection, a small single storey rear extension and a canopy structure which is attached to the rear of the projecting elements.
- 1.3 The adjoining mid-terraced property to the north No. 139 Connaught Gardens has a two storey rear projection which abuts the boundary with the host site.
- 1.4 The surrounding area is made up of similar size and style properties a number of which have extended to the rear at single storey level.
- 1.5 The property is not listed and does not fall within a Conservation Area.

2. Proposal

- 2.1 This application is reported to the Council's Planning Committee as the applicant is a ward councillor.
- 2.2 The application proposes to erect a single storey rear extension with roof lantern and to convert the garage into habitable room involving alterations to front elevation.
- 2.3 The existing garage is to be converted to a play room and plans indicate that the existing garage door is to be replaced with a uPVC bay window and brickwork which matches the existing property. The uPVC bay window would be 1.8m wide and 2.4m high.
- 2.4 Plans originally indicated that the proposed rear extension would be 4m deep, 7.6m wide and 3.4m high with a flat roof. The proposed development extended across almost the entire width of the site and the proposed parapet walls above the flank elevations were raised by 0.2m above the flat roof. A roof lantern was indicated as was proposed to be centrally sited on the flat roof and was 0.2m high and 4m wide.
- 2.5 Officers raised concerns regarding the scale and impact on neighbouring properties and this concern was also raised by an objector from a neighbouring property. As such, amended plans were requested to address concerns. Amended plans have been received which have provided the following revisions:

- (i) The depth of the flank walls of the extension which would face No. 135 Connaught Gardens has been reduced to 3m. The depth of the proposed rear extension increases to depth of 4m at a distance of 2m from the boundary with No.135 Connaught Gardens; and
- (ii) The parapet walls have been removed and the height of the proposed flank elevations and flat roof element has been reduced to 3.3m.

3. Relevant Planning Decisions

3.1 None.

4. Consultations

Statutory and non-statutory consultees

4.1. None

Public

4.2. Consultation letters were sent to 5 adjoining and nearby residents in the surrounding area.

4.3 Two letters of objection have been received and the comments are summarised as follows: -

The proposed single storey rear extension which is situated close to adjoining properties and would be over 3m deep would result in an unacceptable loss of light to kitchen window of the neighbouring property.

Internal

Traffic and Transportation

4.4 Have raised concerns that the proposed conversion of the garage would result in the loss of one off street parking space in an area with poor public transport access (PTAL 1b); limited on street parking availability and no parking controls.

5. Relevant Policies

London Plan 2015 (including FALP)

Policy 6.13 Parking
Policy 7.4 Local character
Policy 7.6 Architecture

Core Strategy

CP4 Housing Quality
CP24 The Road Network
CP30 Maintaining and Improving the Quality of the Built and Open Environment

Development Management Document

DMD8	General Standards for New Residential Development
DMD37	Achieving High Quality and Design Led Development.
DMD45	Parking Standards and Layout
DMD69	Light Pollution

DMD Appendix 8 - Parking Standards and Layout

Other Relevant Policies

National Planning Policy Framework
National Planning Guidance

6. Planning Analysis

Principle

6.1 The adopted policies encourage the maintenance and enhancement of existing housing stock. However, the proposed development must be assessed in relation to its impact on the character of the surrounding area, impact on the neighbours' amenity and highway considerations.

6.2 The main issues for consideration regarding this application are as follows:

- Design and Impact on the Character of the Surrounding Area;
- Neighbouring Amenity; and
- Highway Considerations.

6.3 These issues are discussed in turn below.

Design and Impact on the Character of the Surrounding Area;

6.4 Development Plan Policy DMD37 states that 1) Development that is not suitable for its intended function, that is inappropriate to its context, or which fails to have appropriate regard to its surroundings, will be refused. Policy DM11 states that there should be no adverse visual impact.

6.5 The proposed extension would be single storey only and sited at the rear of the building. There are other rear extensions in the vicinity of a similar size and bulk which have the benefit of planning permission which are of a similar overall size, bulk, height and design. The proposed roof lantern is not of a significant size and bulk and would not give rise to an obtrusive form of development.

6.6 The proposed alterations involving the bay window would not result in a form of development which would unacceptably intrude into the street scene, or have an undue impact on the character and appearance of the dwelling. The window and brickwork would be in keeping with the existing dwelling.

6.7 As such, it is not considered that the proposed rear extension and alterations to the front elevation would cause undue harm to the character and appearance of the subject dwelling itself or the wider surrounding area in accordance with Policy CP30 of the Enfield Plan Core Strategy, DMD11 and

37 of the Adopted Development Management Document, 7.4 and 7.6 of the London Plan and the National Planning Policy Framework.

Impact on neighbouring amenity

- 6.8 From the perspective of neighbouring amenity the properties to address the extension against are No.135 Connaught Gardens to the south of the host site, and No.139 Connaught Gardens to the north.

Impact on No.135 Connaught Gardens

- 6.9 DMD11 requires that single-storey rear extensions to terraced and semi-detached properties do not exceed 3m in depth beyond the original rear wall. Flat roof extensions should not exceed 3m high to eaves and 3.3-3.5m high to the top of the parapet wall. Pitched roof extensions should not exceed 3m high to eaves and 4m high to ridge. Where circumstances allow a larger extension, the depth should not exceed a line taken at 45 degrees from the centre of the original adjoining windows or a common alignment of rear extensions. There should be no chamfering of edges to avoid the policy.
- 6.10 The plans original submitted indicated that the extension which is inset by 0.2m from the boundary with No.135 Connaught Gardens would have projected by 4m beyond the rear building line kitchen of No.135 Connaught Gardens which abuts the application site. The flat roof height of 3.4m and parapet roof height of 3.6m were also greater than the depth and height specified in Policy DMD11.
- 6.11 The amended plans received have reduced the depth of the flank wall of the extension which would face No.135 to 3m and the height of the flat roof extension has been reduced 3.3m. The proposed depth of the flank elevation which would face No.135 would therefore now be in accordance with Policy DMD 11 and the proposed height would only be 0.3m in excess of the recommended height.
- 6.12 The proposed inset of 2m from the boundary with No.135 to the increased depth of 4m is considered sufficient to ensure that the proposed depth and height of the development would not give rise to an overdominant form of development, or give rise to an unacceptable loss of light, to the detriment of the amenities of adjoining occupiers of No.135 Connaught Gardens. No. 135 Connaught Gardens is located the south of the host site and the proposed development would not therefore give rise to any overshadowing. No windows are proposed in the flank elevations and the proposed development would not therefore give rise to a loss of privacy.

Impact on No.139 Connaught Gardens

- 6.13 The property at No.139 has a two storey rear projection which abuts the boundary with the host site and projects 0.92m beyond the rear building line of the host property. The proposed 4m deep flank elevation which would face No.139 would therefore extend by only 0.08m beyond the depth recommended in Policy DMD11 and the proposed height would be only 0.3m above the specified height. It is considered that this minor exceedance beyond the dimensions specified in Policy DMD11 would not give rise to an overdominant form of development, or give rise to an unacceptable loss of light, or overshadowing to the detriment of the amenities of adjoining

residents. No windows are proposed in the flank elevations and the proposed development would not therefore give rise to a loss of privacy.

- 6.14 The proposed roof lantern due to its central location in the proposed roof would not impact on the amenities of the occupiers of the neighbouring properties, or give rise to an unacceptable increase in light pollution.

Highway Considerations

- 6.15 Traffic and Transportation have raised concerns that the proposed garage conversion would result in the loss of an off street parking space and would therefore result in the loss of one off street parking space in an area with poor public transport access (PTAL 1b), limited on street parking availability and no parking controls. They have recommended that that applicant should reconfigure the site to provide 2 off street parking spaces.

- 6.16 However, the use of the garage has not been restricted by planning condition and could therefore be converted to a habitable room without requiring planning permission. It is only the replacement of the garage door with a bay window which requires permission. Furthermore, the garage which appears to have existed at the site for a significant period of time does not meet the Council's minimum off street parking space standards (2.4m x 4.8m). Plans indicate that the internal width of the garage narrows to 2.1m to the rear. It is therefore questionable how capable the existing garage would be in accommodating a modern vehicle. As such, it is considered that the requirement from Traffic and Transportation to provide an additional off street parking space could not be justified in this case.

7. Conclusion

- 7.1 Based on the above assessment, it is considered that the rear extension would not detract from the character of the area and would have an acceptable impact on the amenities of the occupiers of the neighbouring properties. The proposed alterations to the front elevation would not detract from the visual amenities of the street scene and the requirement for a replacement off street parking space could not be justified. The proposal is therefore considered to comply with Local Plan Policy CP30 and Development Management Document Policies DMD8, DMD11, DMD37, DMD45 and DMD 69 and it is therefore recommended that planning permission be GRANTED.

8. Recommendation:

- 8.1 Having regard to the above assessment, it is recommended that the application is **approved subject** to conditions:

1. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the approved plans, as set out in the attached schedule which forms part of this notice.

Reason: For the avoidance of doubt and in the interests of proper planning.

3. The external finishing materials shall match those used in the construction of the existing building and/or areas of hard surfacing.

Reason: To ensure a satisfactory appearance.

4. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, or any amending Order, no external windows or doors other than those indicated on the approved drawings shall be installed in the development hereby approved without the approval in writing of the Local Planning Authority.

Reason: To safeguard the privacy of the occupiers of adjoining properties.

5. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, or any amending Order, no balustrades or other means of enclosure shall be erected on the roof of the extension(s). No roof of any part of the extension(s) shall be used for any recreational purpose and access shall only be for the purposes of the maintenance of the property or means of emergency escape.

Reason: To safeguard the privacy of the occupiers of adjoining properties.

6. The extension shall not be occupied at any time other than for the purpose of accommodation ancillary to the occupation of the existing dwelling.

Reason: To ensure that the development complies with adopted standards and is in character with the existing form of development in the locality.

NOTES :

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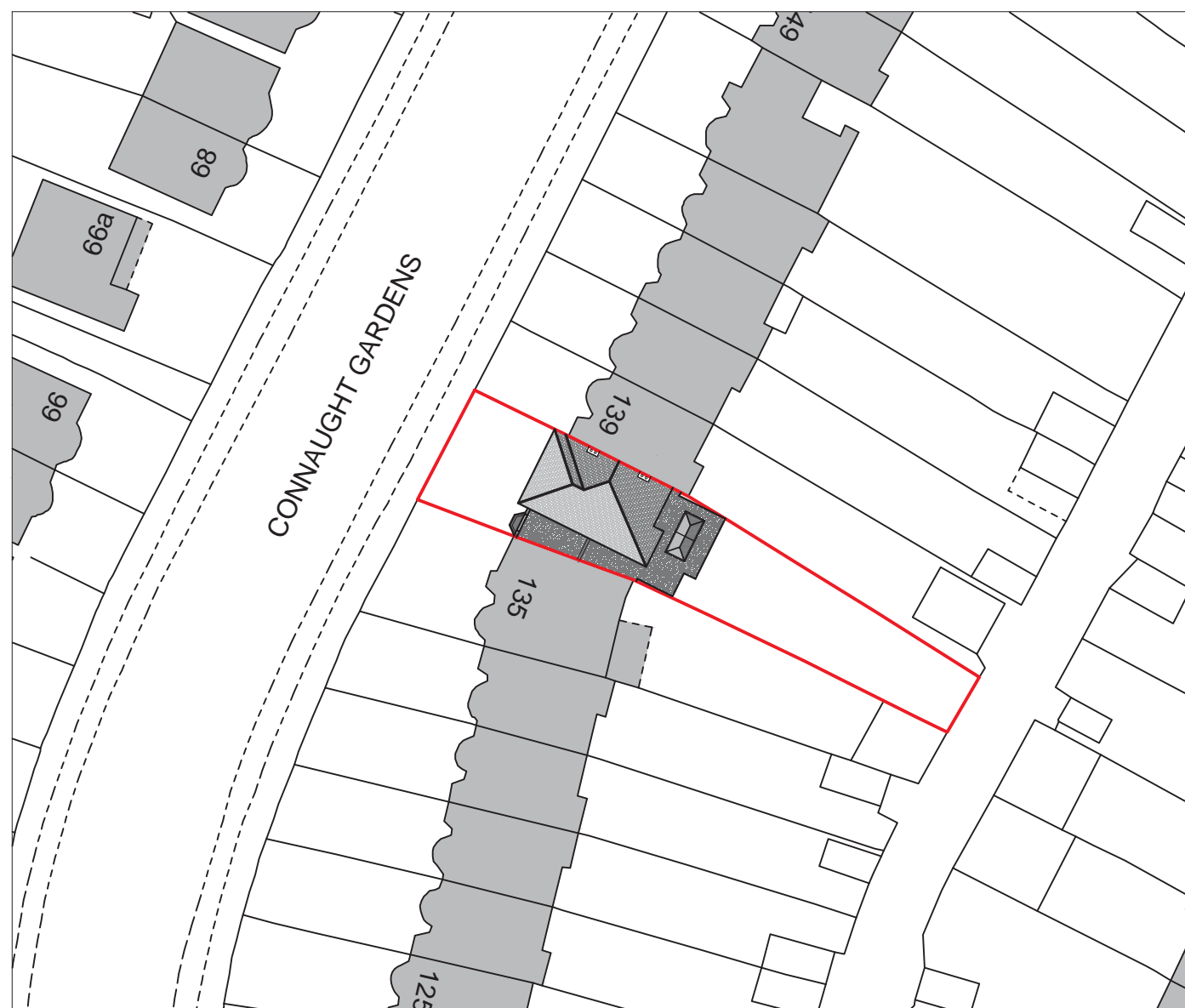
all dimension should be checked on site prior to works commencing. Variations in squareness, depth of plaster etc, must be checked for. Where new walls are shown as aligned with existing walls, physical removal of brickwork and / or plaster to establish the actual position of the wall being attached to must be checked.

any discrepancies should be reported in writing immediately.

when printing off PDF's, check that the drawings are printed to correct paper size and scale.

documents should be used as to the drawing status described

property owner to ensure that all aspects of the "party wall etc., act 1996" are complied with prior to any works commencing on site.



Proposed Block Plan

Scale 1:500



DETAILED PLANNING

UNIT 6, ST ALBANS HOUSE
ST ALBANS LANE
GOLDERS GREEN LONDON NW11 7QE

T 0208 1500 494
E INFO@DETAILED-PLANNING.CO.UK
WWW.DETAILED-PLANNING.CO.UK

CLIENT

Ms Xenia Dines

SITE

137 Connaught Gardens, London N13 5BU

DRAWING TITLE

Proposed Block Plan

DRAWINGS STATUS

Planning

SCALE	DATE	DRAWN	CHECKED
As Noted @ A3	Jan. 2017	M.G.	P.D. / P.C.

DRAWING NO.	REVISION
1199XD_FUL: SH8	B

NOTES :

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

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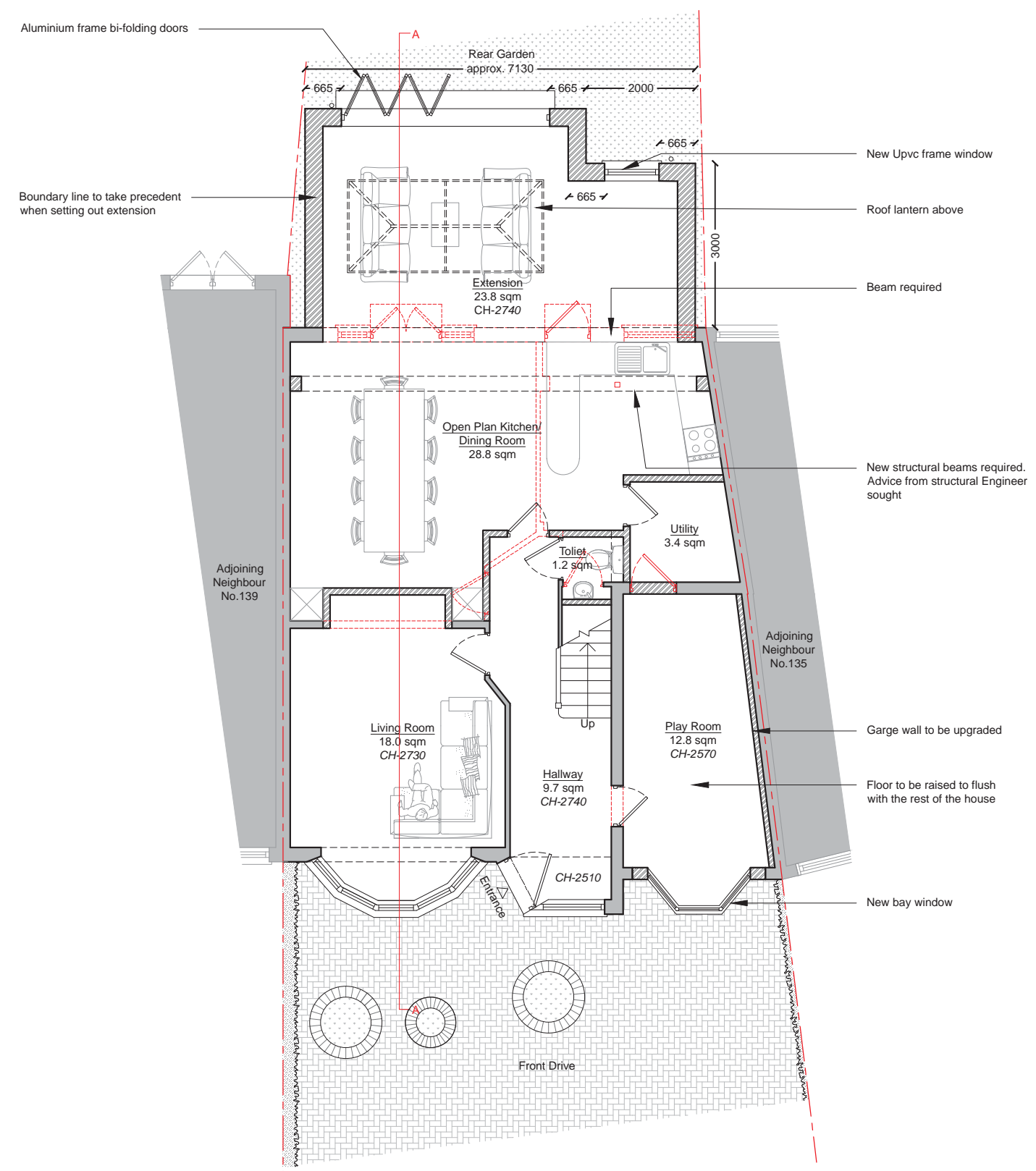
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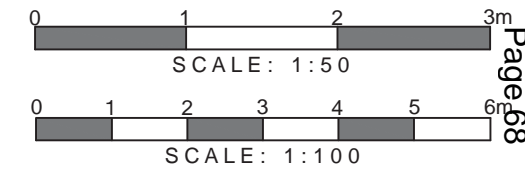
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property owner to ensure that all aspects of the "party wall etc., act 1996" are complied with prior to any works commencing on site.

- Key**
-  Existing Structure
 -  Proposed
 -  Removals
 -  Detail Above (e.g. rooflight, bulk head)
 -  Detail Below (e.g. walls below)
 -  Below Ground Drainage
 - CH-XXXX Ceiling Height (mm)
 - "sqm" Square Metres of Room or Area
 -  Assumed Boundary Line



Ground Floor Plan
As Proposed - Scale 1:100



DETAILED PLANNING

UNIT6, ST ALBANS HOUSE
ST ALBANS LANE
GOLDERS GREEN LONDON NW11 7QE

T 0208 1500 494
E INFO@DETAILED-PLANNING.CO.UK
WWW.DETAILED-PLANNING.CO.UK

CLIENT			
Ms Xenia Dines			
SITE			
137 Connaught Gardens, London N13 5BU			
DRAWING TITLE			
Proposed Ground Floor Plan			
DRAWINGS STATUS			
Planning			
SCALE	DATE	DRAWN	CHECKED
1:100 @A3	Jan. 2017	M.G.	P.D. / P.C.
DRAWING NO.	REVISION		
1199XD_FUL: SH9	B		

NOTES :

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all dimension should be checked on site prior to works commencing. Variations in squareness, depth of plaster etc, must be checked for. Where new walls are shown as aligned with existing walls, physical removal of brickwork and / or plaster to establish the actual position of the wall being attached to must be checked.

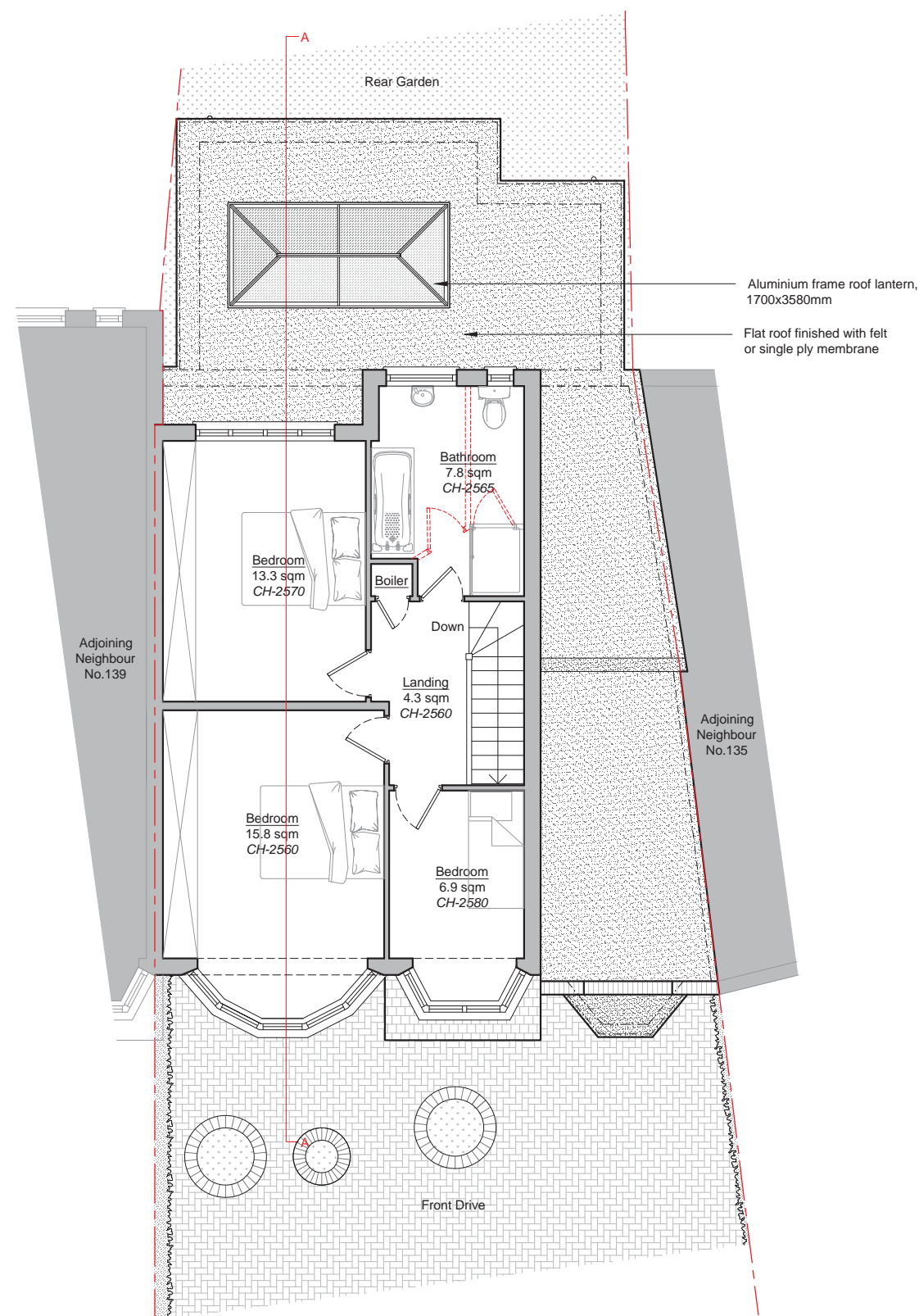
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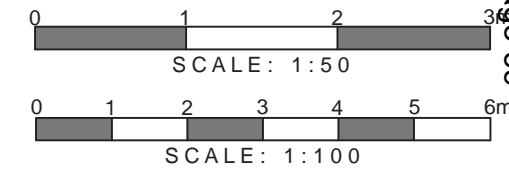
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- Key**
- Existing Structure
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 - Below Ground Drainage
 - CH-XXXX Ceiling Height (mm)
 - "sqm" Square Metres of Room or Area
 - Assumed Boundary Line



First Floor Plan
As Proposed - Scale 1:100



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DETAILED PLANNING

UNIT 6, ST ALBANS HOUSE
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CLIENT

Ms Xenia Dines

SITE

137 Connaught Gardens, London N13 5BU

DRAWING TITLE

Proposed First Floor Plan

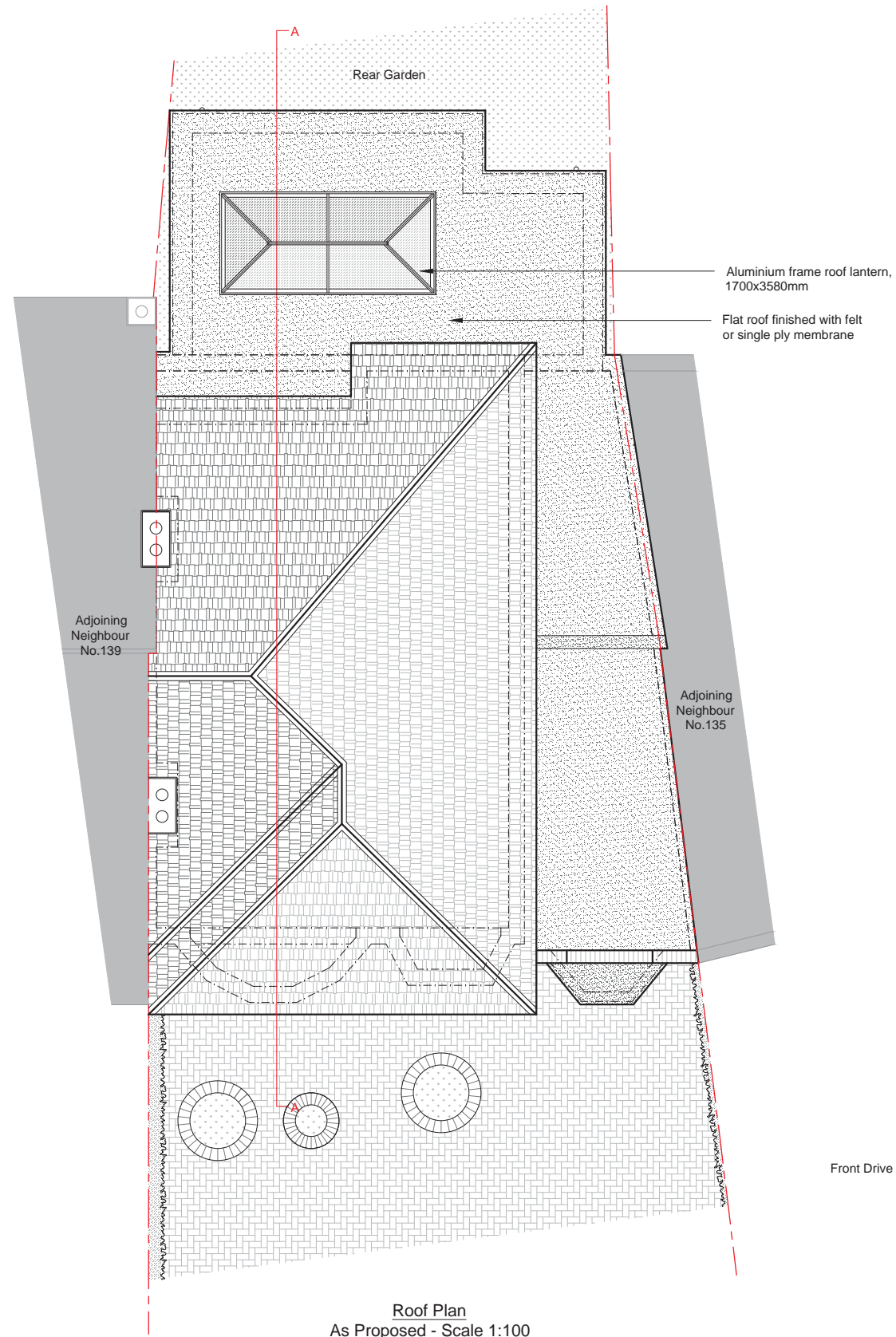
DRAWINGS STATUS

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SCALE	DATE	DRAWN	CHECKED
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 - Proposed
 - Removals
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 - Below Ground Drainage
 - CH-XXXX* Ceiling Height (mm)
 - "sqm" Square Metres of Room or Area
 - Assumed Boundary Line



Roof Plan
As Proposed - Scale 1:100

NOTES :

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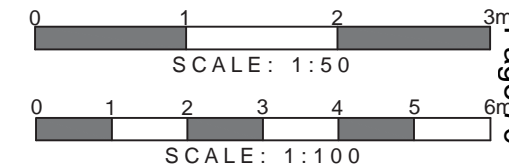
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any discrepancies should be reported in writing immediately.

when printing off PDF's, check that the drawings are printed to correct paper size and scale.

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property owner to ensure that all aspects of the "party wall etc., act 1996" are complied with prior to any works commencing on site.



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SITE

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DRAWING TITLE

Proposed Roof Plan

DRAWINGS STATUS

Planning

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DRAWING NO.	REVISION
1199XD_FUL: SH11	B

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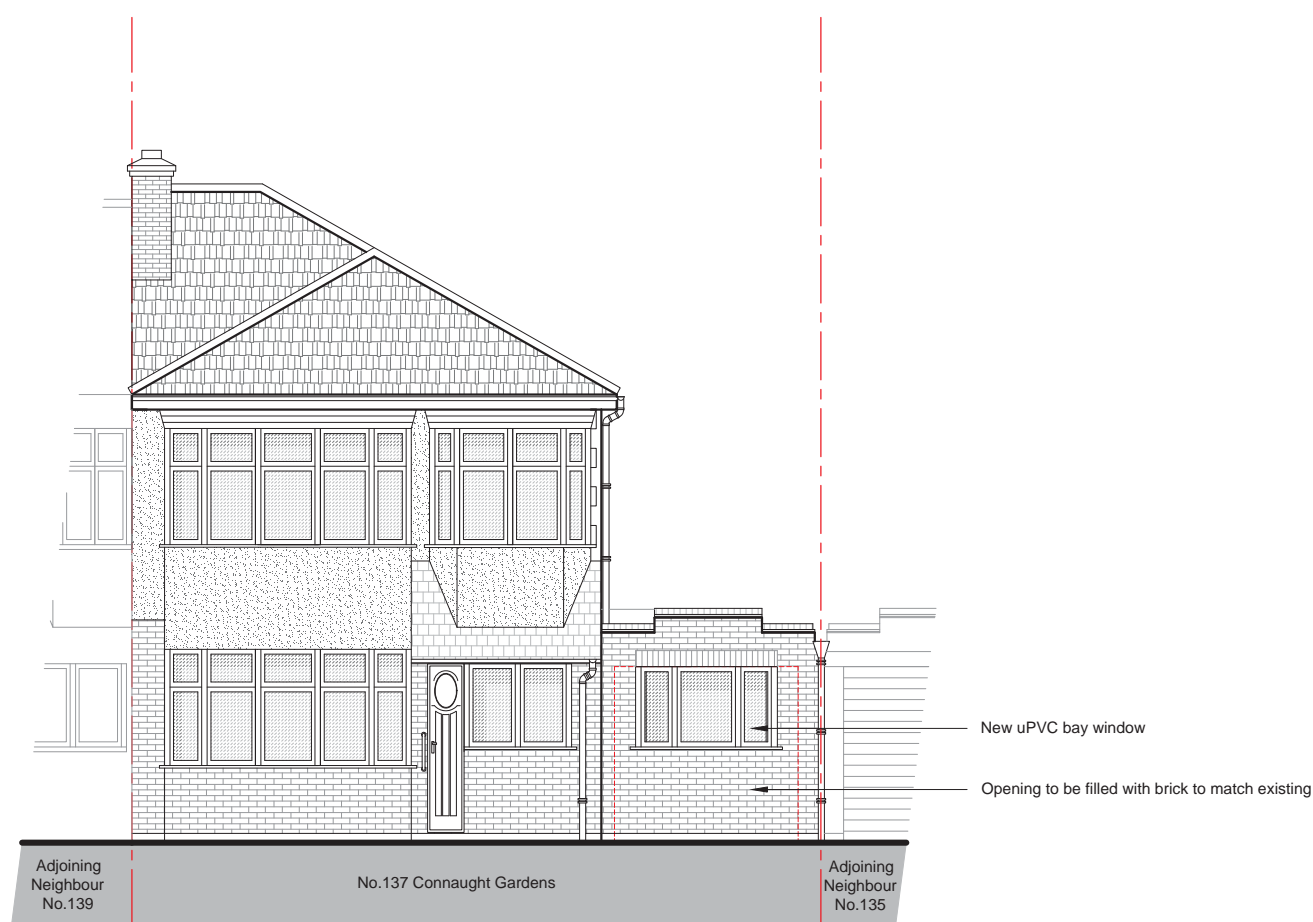
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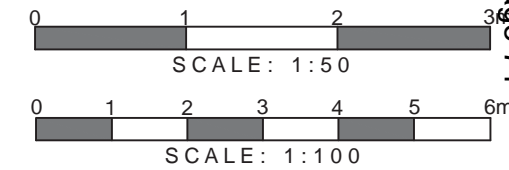
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 - Assumed Boundary Line



Front Elevation
As Proposed - Scale 1:100



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DETAILED PLANNING

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<i>Proposed Front Elevation</i>			
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<i>Planning</i>			
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DRAWING NO.	REVISION		
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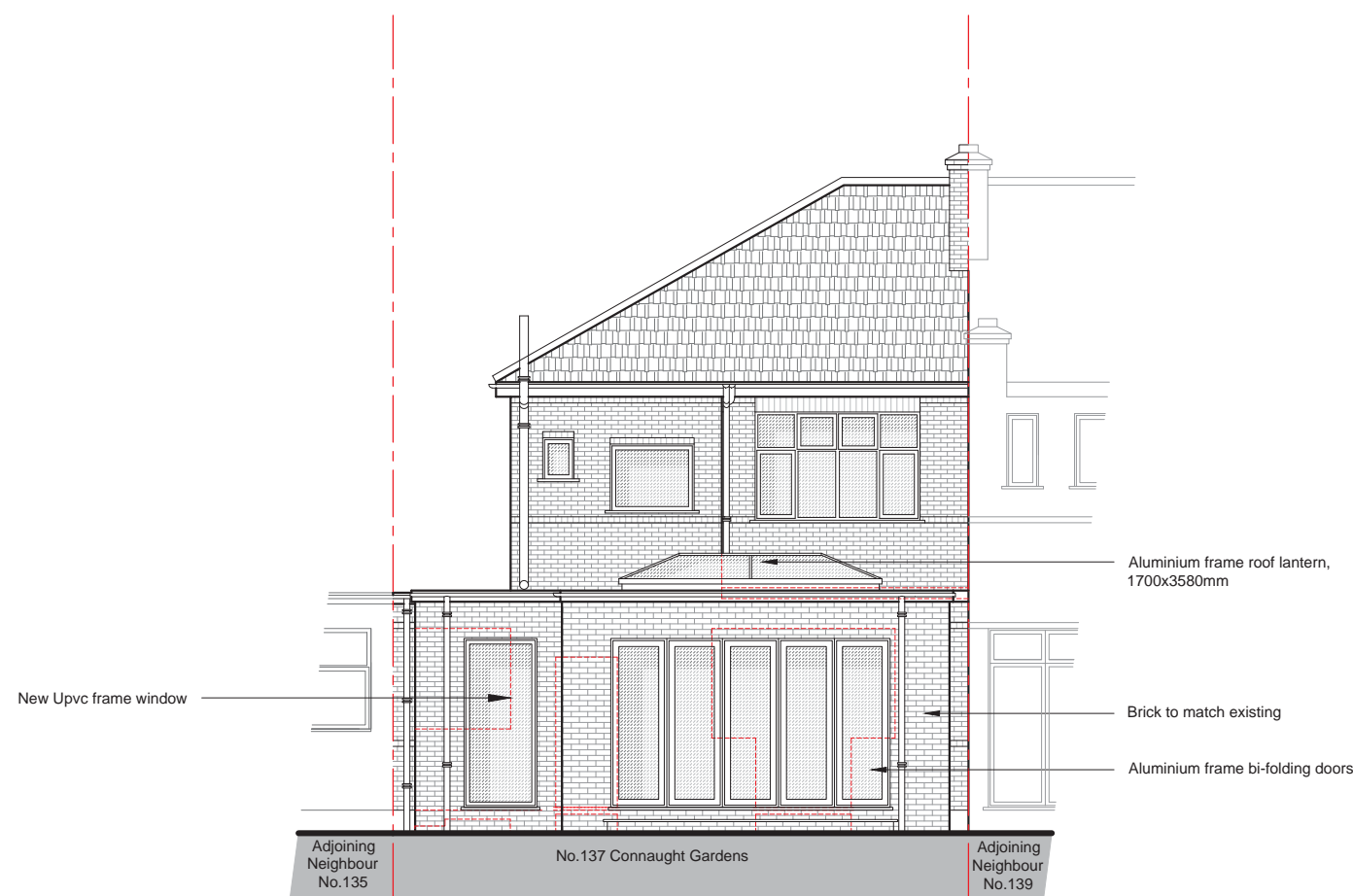
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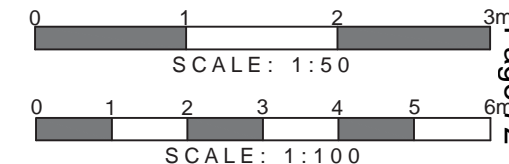
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- Key**
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 - Proposed
 - Removals
 - Detail Above (e.g. rooflight, bulk head)
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 - Below Ground Drainage
 - CH-XXXX Ceiling Height (mm)
 - "sqm" Square Metres of Room or Area
 - Assumed Boundary Line



Rear Elevation
As Proposed - Scale 1:100



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Ms Xenia Dines

SITE

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DRAWING TITLE

Proposed Rear Elevation

DRAWINGS STATUS

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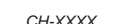

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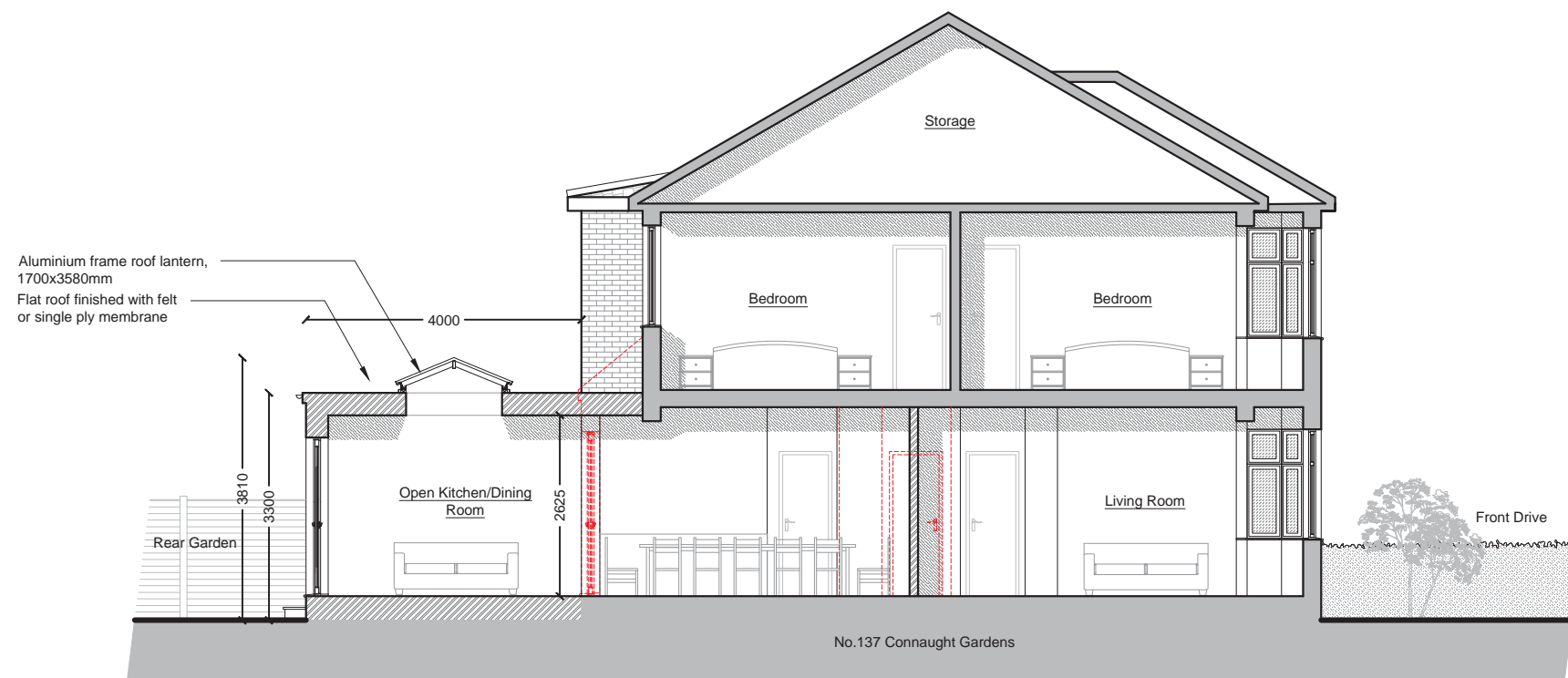
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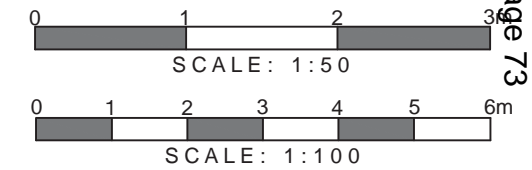
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- Key**
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 -  Proposed
 -  Removals
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 - CH-XXXX Ceiling Height (mm)
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Section A-A
As Proposed - Scale 1:100



DETAILED PLANNING

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CLIENT

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SITE

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DRAWING TITLE

Proposed Section A-A

DRAWINGS STATUS

Planning

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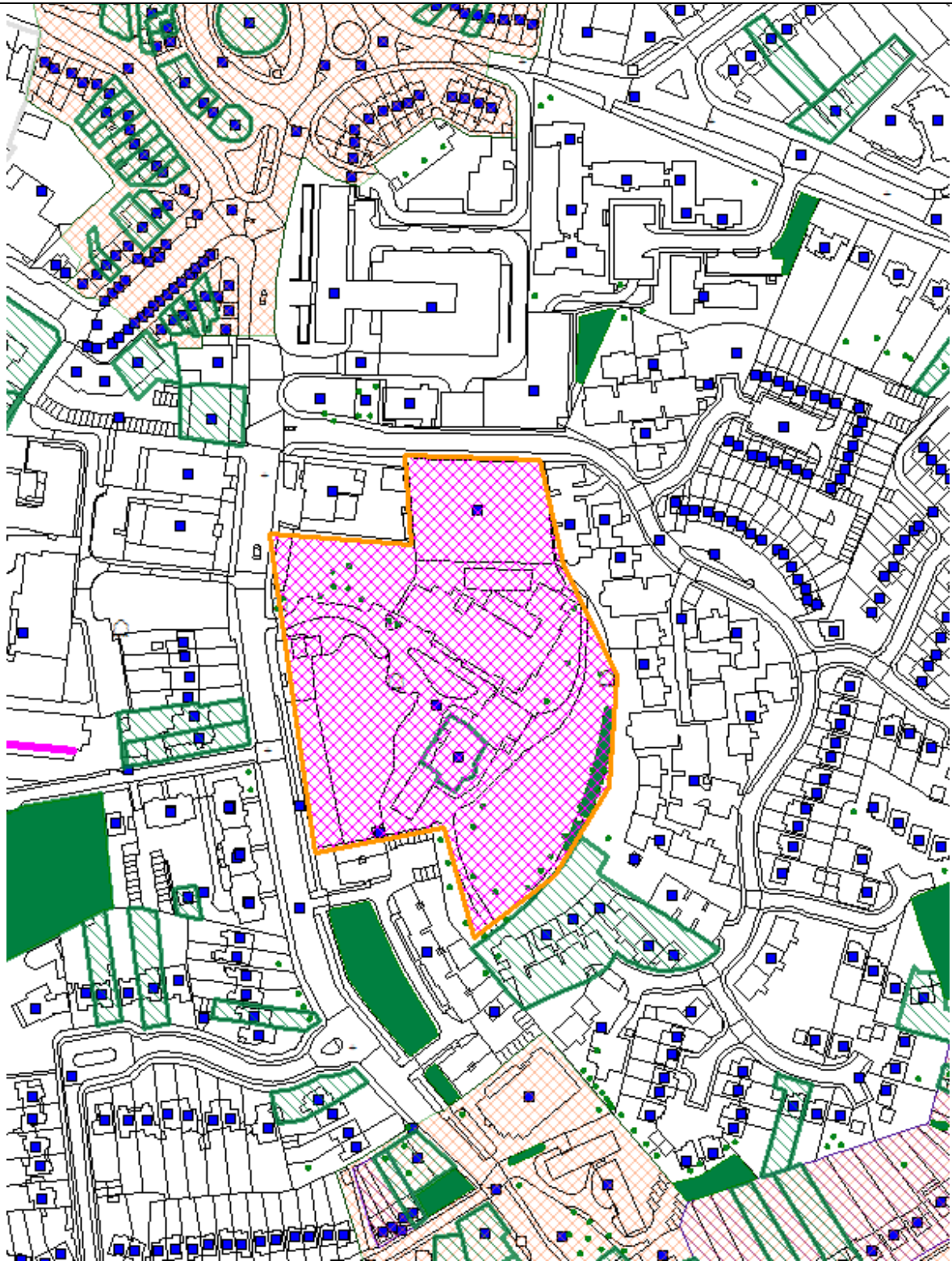






LONDON BOROUGH OF ENFIELD		
PLANNING COMMITTEE		Date : 24th January 2017
Report of Assistant Director, Planning, Highways & Transportation	Contact Officer: Andy Higham Sharon Davidson Ms Marina Lai	Ward: Southgate
Ref: 16/04677/RE4		Category: LBE - Dev by LA
LOCATION: Former Minchenden School, High Street, N14 6BS,		
PROPOSAL: Subdivision of the site to provide a specialist school, involving alterations to modify and extend to Farbey Building, installation of fence south façade, alterations to mews building and open sided workshop, installation of new boundary fence around school, new external hard play area, reconfiguration of carpark and vehicular/pedestrian access from Leigh Hunt Drive.		
Applicant Name & Address: C/o Agent		Agent Name & Address: C/o Agent 65 Gresham Street London EC2V 7NQ United Kingdom
RECOMMENDATION: As such, APPROVAL is recommended, subject conditions.		

Ref: 16/04677/RE4 LOCATION: Former Minchenden School, High Street, N14 6BS,



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Scale 1:2500

North



1. Site and Surrounding

- 1.1. The application site comprises a series of buildings and forms part of the curtilage of the Southgate House Site, formerly known as Minchenden School Site.
- 1.2. The Southgate House Site is fairly substantial in size and at its heart is Southgate House, which is grade II* listed. The House dates from the late 18th century and is a high status Georgian country house over two principle floors with basement and attics.
- 1.3. The Southgate House appears to have been converted to institutional use in the early 20th century and in the 1930s, the institutional use of the site significantly expanded to have a series of buildings erected. The whole site is approximately 17600sqm and does not benefit from any public view, enclosed by a variety of fence types and high brick walls to the north and west and residential development to the east and south. There are a significant number of mature trees, including TPO trees, within the curtilage of the site. The current vehicle and pedestrian entrance to the site is from Southgate High Street via a carriage drive.
- 1.4. The application site occupies a proportion (approximately 7000sqm) of the Southgate House Site, comprising all land to the north of the carriage drive, the stable building (Mews Building), the 1930s school building (Farbey Building) and its adjacent open sided Workshop Building, an existing car parking between the Mews Building and the Farbey Building, part of the brick boundary wall and part of the rear garden.
- 1.5. The site doesn't lie in within a conservation area, and is within walking distance to Southgate Underground and Bus Station, a number of retail units and opposite the entrance to Southgate and Barnet College.
- 1.6. High Street is a classified road (A1004). There is a right run pocket in place to reduce the risk of vehicle turning into the site obstructing traffic flow. The site has a PTAL of 4 which indicates a very good transport service.

2. Proposal

- 2.1. The Council has a statutory duty to deliver autistic provision in the Borough and due to a lack of autistic provision within Enfield, is currently providing out of Borough places to some autistic pupils, which the Council is seeking to address.
- 2.2. The council has then recently purchased the former Minchenden Site to accommodate the top end of the required secondary autistic provision.
- 2.3. The proposal will involve the subdivision of the existing curtilage of the Grade II* listed building (Southgate House) and conversion of the existing former education buildings on the site to a speciality autistic school for 120 x pupils and 100 x staff.
- 2.4. Planning permission (Ref: 16/04677/RE4) in conjunction with Listed Building Consent (Ref: 16/04322/LBC) are sought for the following proposed works:
 - a) Remodel, refurbish and extend the Farbey Building;

- b) Enclosure and convert the open sided workshop to provide school kitchen and dining facilities;
- c) Remodel and refurbish the Mews Building;
- d) Form a new vehicle and pedestrian entrance from the public car park on Leigh Hunt Drive to an on-site staff car park and pupil drop off;
- e) Form new external hard play areas to the rear (east) of the Farbey Building; and
- f) Provide a secure boundary fence around the entirety of the new school site and to provide a boundary with Southgate House.

Farbey Building

2.5. The Farbey Building will be refurbished, remodelled and extended to meet the facilities required for an autistic school. The proposed external works that are subject to planning permission under this application include:

- Construction of 2 x new two-storey extensions to the north-western corner and west side of the building, to provide a new staircase for means of escape and a lift to facilitate wheelchair access to the upper levels; The height will match the existing eaves level;
- Removal of the existing external metal escape stair;
- Replacement of existing metal framed windows within painted timber sub-frames with new windows to match the existing;
- Replacement of existing doors with new PPC metal framed double glazed doors in modified existing opening;
- Replacement of existing pitched roof slats and coverings;
- Demolition of the existing single storey pitched roof link between Farbey Building and Southgate House and resulting openings to be blocked up with facing brickwork to match existing;
- Blocking up 2 x existing ground floor openings with facing brickwork to match existing; and
- Installation of 4 x new stepped access to the flank elevation;

2.6. The following internal works proposed to Farbey Building are subject to List Building Consent under the application Ref: 16/04322/LBC:

- Modifications of existing layout involving new partition walls and installation of new shower / change rooms; and
- Subdivision of existing main hall / gymnasium.

Workshop Building

2.7. The single-storey open sided workshop will be remodelled to provide kitchen / dining facilities. The proposed works would involve the enclosure of the open sided building via insertion of 3 x windows and 1 x door on south elevation and 3 x windows and 1 x door on north elevation and 1 x door on west elevation. The proposed new brickwork will match existing.

Mews Building

2.8. The existing part single part two-storey Mews Building will be reconfigured and refurbished to provide a 6th Form common room, as well as overnight stay/life skills teaching accommodation to help prepare pupils for living on their own. The proposal would also replace the existing timber sash windows

and timber doors to match existing and insert a new door on the ground floor and clean and repoint the existing brickwork.

Car Park and Access

- 2.9. With regards to trip generation, pupils are expected to either be dropped-off by parents or transferred to the school site by authority provided mini buses. These mini buses will access the school site via the fob controlled sliding gate entrance from the Leigh Hunt Drive Public Car Park, disembark the pupils and leave the same way they came in. None of them would come by public transport.
- 2.10. This part of the proposal is thus to provide an internal vehicular/bus drop-off area adjacent to the staff car parking to enable the boundary gate to be secured when drop-off occurs.
- 2.11. The existing pedestrian access via High Street would remain. The existing car parking of the site that is located between Mews Building and Farby Building would remain as parking space for pupil drop off and 40 x staff parking.
- 2.12. A new pedestrian/vehicular access will be provided via to a public car park off Leigh Hunt Drive. The existing opening in the section of the boundary wall will be used for pedestrian access and the new opening required for vehicular access and egress sliding gate will be made through a section of clearly rebuilt wall. This arrangement would result in a loss of 3 x no car parking spaces within the existing public car park.
- 2.13. Emergency access will be provided from both the public car park and from the access driveway to Southgate House via High Street. Small service vehicles deliveries to the kitchens will be accessed via the public car park. Refuse vehicles will not be permitted to enter the school car parking area but will service via the car park from Leigh Hunt Drive.
- 2.14. The proposal would also involve erecting a new pedestrian ramped access leading to Workshop Building and rear of Farbey Building and a new ramped access leading to front of Farbey Building and Mews Building.

External Play Area

- 2.15. Located to the rear of Farbey Building, the proposed area will comprise a mixture of tarmacadam / block paving / artificial grass, with play equipment including play water feature, swings, climbing area etc.

Secure Fence

- 2.16. A perimeter fence ranging at different heights around the perimeter of the school site will be introduced for pupil safety.

3. Consultations

Neighbours:

- 3.1. The application was referred to 41x surrounding properties. 1 x support and 2 x objections were received.

3.2. The support received states:

- *The Lime Trust are supportive of a satellite SEN school at this location, bringing much-needed specialist SEN places to the borough. As a Trust, we have submitted an application to the Department for Education to open a new 3 FE primary school in this area of the borough, and hope that the Trust and EFA can work with the Local Authority to co-locate our primary school with this proposed SEN provision which would have significant benefits to pupils of both schools and the wider community in Southgate.*

3.3. The objections concerned:

- Objection1: The proposal's site justification statement 4.1.3 says "An assessment of alternative sites (other than Minchenden) within the borough has concluded that there are no sites capable of meeting the needs of the school due to constraints arising from site size/configuration, availability, accessibility, and/or planning policy" but the more recent and high level Report to Cabinet 19 October 2016, Item 16, says: "two sites had been tested thoroughly against suitability and viability against the Minchenden Site, one in the east of the Borough and one in the west. Both of these sites were suitable for the development of an autistic provision" The planning application is clearly unacceptable; officers are misleading us in this application. Other sites are available and suitable.
- Objection 2: The acknowledged overwhelming local need for additional primary school places is not addressed by this proposal; instead this proposal takes the best available local site for extra primary provision and uses it for something else. Additional primary places were first promised more than 20 years ago when Minchenden was closed and land sold for housing. The need is identified now [Report to Cabinet 16 November 2016, Item 8] as the highest priority need in Enfield for primary pupils: "Deliver three additional permanent forms of primary entry (FE) in the South West from September 2017 to September 2020". London Plan Policy 3.18 [Planning Statement 5.4] is therefore not met by this proposal. Enfield's Core Strategy [Planning Statement 5.5] is also not met by this proposal. The planning proposal fails at a policy level as well as failing to meet Council priorities such of Fairness for All, Growth and Sustainability, and Strong Communities.

3.4. Response to Objection One: The Cabinet report identified two alternative sites which were consider the first is not in the ownership of the council and the current owner has confirmed that they were not interest in releasing the site to the council for development purposes. The second site is a green belt site and would have been difficult to get a successful planning application to allow the development of a school. Based on the fact that the site was green belt it would have not been possible to provide the additional places within the prescribed timescale. In addition it should be noted that the site has also been chosen to develop a stronger partnership with Barnet and Southgate College which has specialist facilities on the Southgate site for young adults with autism. The council believes that this partnership will deliver an autistic specialism hub which can only benefit the pupils attending this new facility

3.5. Response to Objection Two: While this is a broader planning consideration (and we have provided information to demonstrate the proposal does not

prejudice the delivery of additional primary school places to meet predicted demand within the local catchment area), the issue is a different matter to this application.

Internal:

- 3.6. Conservation Officer: Placed no objections and recommended a set of conditions, of which details are provided on the case officer's report under 16/04322/LBC.
- 3.7. Transport Team: Placed no objection; Details are provided on Section 7 of the Report.
- 3.8. Environmental Protection Team: No objection as there is unlikely to be a negative environmental impact. In particular there are no concerns regarding air quality or contaminated land.
- 3.9. Tree Officer: No objection to these proposals; There appears to be little development impact on the numerous significant trees on site that are protected by a Tree Preservation Order. However, there is always a risk that some development activities may affect the trees and the Officer recommended an appropriate condition to ensure the adequate retention and protection of significant trees on site in accordance with council policy DMD80.
- 3.10. SuDs Officer: The drainage approach is generally satisfactory for the playground area.

External:

- 3.11. Historic England: Placed no objection to the proposal, stating:

Whilst Historic England has no objection to the principle of converting the Farbey Building and the Stable Block to a new school, we would urge the Council to bring forward proposals for the repair and reuse of the Grade II Southgate House, which also forms part of this site. Southgate House is currently in a poor and deteriorating condition and has recently been added to our Heritage At Risk Register.*

We would also recommend that the Council places conditions on any grant of planning permission requiring that further details are submitted of the proposed boundary treatments between the school and the grounds of Southgate House.

- 3.12. Conservation Advisory Group (CAG): CAG welcomed the proposals noting there has been Historic England involvement. The site is currently unoccupied. It was stressed that the proposal to subdivide the main hall will be done sympathetically with all works being reversible. Access arrangements are arranged to minimise the impact on the listed wall. Further benefits include the refurbishment of the Mews Building. CAG noted that the enclosure of the open sided workshop had no material impact on the historical elements of the site. The Officer then stated that emergency works have/are being undertaken, by Enfield, to secure the adjacent Southgate House. Discussions are taking place with an educational establishment that would occupy Southgate House (currently in poor condition). Because there is

synergy between the two users of Farbey Building and Southgate House it is important to progress this application as quickly as possible. CAG gave their unanimous support to the application.

- 3.13. Southgate District Civic Trust: Placed no objection to the proposed as it was not in our opinion likely to cause any problem to the listed houses on the High Street, or Southgate House.

4. Relevant Planning History

- 4.1. LBC/10/0092: Listed building consent application for removal of parts of front boundary wall and rebuilt, remove and reset coping to top of wall was withdrawn.
- 4.2. LBC/02/0019: Listed Building Consent application for internal and external alterations including treatment of damp/dry rot, demolition of part of south retaining wall and steps, and installation of new step and chair lift was withdrawn.
- 4.3. LBC/91/0007: Listed building consent was granted for refurbishment of existing building in connection with its use for office purposes involving the demolition of existing single storey side extension and external staircase together with the erection of a 2-storey extension to the south to provide additional office.
- 4.4. AD/92/0071: Advertisement consent was granted for installation of a free standing, non-illuminated sign board.
- 4.5. LBC/89/0002: Listed building consent was granted for alterations to the mansion house Minchenden Complex part of fire precaution works.
- 4.6. LBC/88/0008: Listed building consent was granted for alteration repairs and restoration of the listed building.

5. Relevant Policies

- 5.1. Core Strategy
CP8: Education
CP21: Delivering sustainable water supply, drainage and sewerage infrastructure
CP24: The road network
CP25: Pedestrians and cyclists
CP26: Public Transport
CP30: Maintaining and improving the quality of the built and open environment
CP31: Built and landscape heritage
CP36: Biodiversity
- 5.2. Development Management Document (adopted in November 2014)
DMD 16: Provision of New Community Facilities
DMD17: Protection of Community Facilities
DMD 27: Angel Edmonton, Edmonton, Palmers Green, Southgate
DMD37: Achieving High Quality and Design-Led Development
DMD38: Design Process
DMD44: Preserving and enhancing heritage assets

DMD45: Parking Standards and Layout
DMD 47: Access, new roads, and servicing
DMD 48: Transport assessments, travel plans, servicing & delivery plans
DMD49: Sustainable Design and Construction Statements
DMD 45: Parking standards and layout
DMD79: Ecological Enhancements
DMD 80: Trees on Development Site
DMD 81: Landscaping
DMD Appendix 7 - London Plan parking and Cycle standards
DMD Appendix 8 - Parking standards (parking dimensions)
DMD Appendix 9 - Road classifications

5.3. London Plan Consolidated with Alterations since 2011 (2015)

Policy 5.3: Sustainable design and construction
Policy 6.9: Cycling
Policy 6.10: Walking
Policy 6.13: Parking
Policy 7.4: Local character
Policy 7.5: Public realm
Policy 7.6: Architecture
Policy 7.8: Heritage assets and archaeology
Policy 7.20: Biodiversity and access to nature
Policy 7.21: Trees and woodland
Table 6.3 Cycle Parking minimum standards
Table 6.2 Parking standards

5.4. Other Relevant Policy Considerations

Enfield Characterisation Study
Planning (Listed Buildings and Conservation Areas) Act 1990
National Planning Policy Framework

6. Main Issues to be Considered

6.1. DMD44 of the council's adopted DMD seeking to preserve and enhance heritage assets requires that development affecting heritage assets or their setting should seek to complement the asset in all respects of their design, materials and detailing.

6.2. As such, the main issues to be considered in respect of this application are:

- The principle of the development in terms of land use and conformity with strategic policies;
- The impact on amenity;
- Design and impact on the character of the host buildings;
- Impact on the setting of listed structures;
- Transport impact; and
- Tree impact.

7. Analysis

Principle of development

7.1. The Farbey Building and adjacent open-sided Workshop Building were constructed as a purpose built school circa 1930. The Mews Building built circa 1800, with ancillary use to the Southgate House which previously used

by Southgate College. The proposal will convert these former educational buildings to provide a specialist school for children with learning disabilities. As such, the proposal would retain the educational use of the site as existing compatible with the council's policies in terms of land use.

Neighbouring Amenity

- 7.2. The Southgate House Site is fairly large in size and does not benefit from any public views by way of its substantial size and enclosure with high brick wall to the north and west. The closest residential block to the east and south is approximately 40m away. Thus, the proposal, given its location and massing, is not anticipated to generate adverse impact on the amenity to the neighbouring properties.

Design and impact on the character the host buildings

a) Proposal to extend and refurbish the Farbey Building

- 7.3. The proposed external works that are required for planning permission would comprise the erection of 2 x two-storey extensions and proposed replacement of the existing windows and doors.
- 7.4. The proposed two-storey extensions, by virtue of its scale and massing, are considered modest and would not appear overly-dominate or a congruous addition to the Farbey Building.
- 7.5. The proposed replacement would not result in any enlargement to the existing openings and will match the existing, in terms of proportions, appearance and openings, and therefore will cause no visual impact on the existing occupiers.

b) Proposal to remodel and refurbish the Mews Building

- 7.6. The proposed external works that are required for planning permission would comprise the proposed replacement to the existing windows and insertion of a new ground floor door.
- 7.7. The proposed new openings will match the existing, in terms of proportions, appearance and openings, and therefore will cause no visual impact on the existing and adjoining occupiers.

c) Proposals to convert the open sided workshop to provide school kitchen and dining facilities

- 7.8. The proposed enclosure of the existing structure is considered to respect the setting of existing listed buildings in terms of height, scale, massing, materials, siting and be of a high quality contextual design that takes cues from the existing heritage assets found on the site.

Impact on the setting of the listed buildings

- 7.9. The detailed assessments on the impact on the setting of listed buildings are provided on the case officer's report under Ref: 16/04322/LBC.

Transport Impact

- 7.10. The council's Transport Team was invited to comment on the proposal and raised no objections, subject to a set of conditions.
- 7.11. **Access:** The retention of the existing pedestrian access from High Street is acceptable. The proposed use of the existing vehicular access for emergency vehicles is also acceptable.
- 7.12. Potential issues with the proposed main access via the council's public car park off Leigh Hunt Drive have been identified as:
- The loss of 3 x parking spaces in a public car park which is in high demand;
 - Increase in the number of vehicle movements in the public car park and dropping off and picking up by parents during peak periods could obstruct the access;
 - Increased need for regular parking enforcement; and
 - Safe and separate access for cyclists and pedestrians.
- 7.13. The imposition of follow conditions is considered to sufficiently mitigate the above issues raised:
- Parking Management Plan to include car parking capacity surveys in the public car park and surrounding roads to monitor the impact of the development on available parking capacity;
 - An access plan to detail how the pedestrian and vehicle access to be managed on a day to day base; and
 - Cycle parking plan to detail the cyclists' entrance from High Street and cycle stands.
- 7.14. **Trip Generation:** The Transport Team considered that the number of additional vehicle trips in the morning peak will have an impact on the High Street / Leigh Hunt Drive Junction. Of particular concerns is the potential for traffic queuing to turn right into Leigh Hunt Drive obstructing the main carriageway. To address this, Parking Management Plan should also include pre and post occupation junction surveys to ensure that the impacts are not causing significant problems.
- 7.15. **Vehicle Parking:** The vehicle parking proposal is for a maximum of 40 cars, including 1 dedicated disabled parking bay, and 2 minibuses. The Transport Team considered that this level of provision is lower than would usually be expected with Census data indicating that amongst Enfield residents, around 53% of people use private motor vehicles to get to work. Information from the current school also indicates that around 78% of staff use a car to get to work, which would equate to around 78 spaces.
- 7.16. However, justifications are given to this case by reasons of:
- The site is in a PTAL 4 area with good access to both buses and London Underground services;
 - Cycle parking is being provided onsite for staff and visitors;
 - The applicant is committed to a Travel Plan for the site which will encourage staff to reduce their car usage;
 - The applicant has agreed to prepare and deliver a Parking Management Plan to make sure that the parking capacity utilisation is optimised;
 - The applicant has agreed to undertake car parking capacity surveys in the public car park and surrounding roads to monitor the impact of the development on available parking capacity; and

- Discussions are on-going to fund highway works to limit the impact on residents, particularly on Leigh Hunt Drive, that any overspill parking might have.
- 7.17. Therefore overall the lower than expected car parking provision should be mitigated by the measures as set out which means it is in line with the London Plan and Enfield DMD Policies 8 and 45. The applicant has been advised that the following requirements should be considered when undertaking the required Parking Management Plan and Travel Plan:
- The lack of space onsite means that there should be a planning condition which limits the number of minibuses to 2 and specifies a maximum size;
 - Provision should be made for at least 10% of parking spaces to be enabled for electric vehicle charging with a further 10% having passive provision which can be enabled as demand requires;
 - 10% of parking spaces should be marked out as disabled or suitably sized for disabled parking provision in the future (3.6m by 6m). Each disabled member of staff should have access to a disabled parking space; and
 - Details of how the stacked parking is to be managed will need to be included in the Car Parking Management Plan.
- 7.18. **Cycle Parking:** The London Plan sets out minimum cycle parking requirements. For this use for long stay (convenient, covered and secure) the provision should be 1 space per 8 members of staff and 1 space per 8 students. However it is acknowledged that due to the type of education provision there is unlikely to be demand for cycle parking from pupils. Therefore the proposal for 14 long stay cycle parking spaces is acceptable. A condition is imposed requesting further details regarding the type and location of the storage.
- 7.19. The London Plan also requires short stay provision of at least 1 space per 40 students with minimum provision of 2 spaces on any applicable site. Whilst it is acknowledged that student demand is likely to be low, given that the Transport Assessment highlights how accessible the site is from local cycle networks and Enfield is a mini-Holland borough, the applicant should provide at least 2 short stay spaces. These should be secure and accessible, ideally from the main entrance to the building. The applicant has confirmed that two cycle stands will be provided close to the main visitor entrance for the school which is acceptable.
- 7.20. **Servicing and Refuse:** a condition is imposed requesting the details of the location and proposed capacity of the refuse storage areas will need to be confirmed.
- 7.21. **Travel Plan:** The draft Travel Plan for the school provision is noted. Full details can be secured by way of a condition. A monitoring fee will be required.
- 7.22. It is then considered, that subject to conditions, the impact of the proposed development on highway safety, the free flow of traffic and the amenity of local residents is not significant and can be managed.

Impact on Trees

- 7.23. The council's Tree Officer was consulted on the proposal and pointed out that there are a number of trees subject to Tree Preservation Order on site and within the vicinity of the proposed development. Given the scale of the proposed extensions, the proposed external works would have limited impact on these trees. However, Officer recommended an appropriate condition to ensure the adequate retention and protection of significant trees on site in accordance with council policy DMD80.

8. Conclusion

- 8.1. It is concluded that, subject to conditions, the proposed development would not adversely affect the amenity of the adjoining properties and would be compliance with the council's policies while providing a much needed specialist autistic school for the Borough.

9. Recommendation

- 9.1. As such, approval is recommended, subject to the following conditions:

1. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the approved plans including plans(s) that may have been revised, as set out in the attached schedule which forms part of this notice.

Reason: For the avoidance of doubt and in the interests of proper planning.

3. Prior to the commencement of the development hereby approved (including all preparatory work), a scheme for the protection of the retained adjacent trees including a tree protection plan (TPP) and an arboricultural method statement (AMS) shall be submitted to and approved in writing by the local planning authority.

Specific issues to be dealt with in the TPP and AMS:

- a. Location and installation of services/ utilities/ drainage;
- b. Methods of demolition within the root protection area (RPA as defined in BS 5837: 2012) of the retained trees;
- c. Details of construction within the RPA or that may impact on the retained trees;
- d. Tree protection during construction indicated on a TPP and construction and construction activities clearly identified as prohibited in this area;
- e. Boundary treatments within the RPA;
- f. Methodology and detailed assessment of root pruning;
- g. Arboricultural supervision; and
- h. The method of protection for the retained trees.

The development thereafter shall be implemented in strict accordance with the approved details.

Reason: In the interest of biodiversity, sustainability, and to ensure that a satisfactory standard of visual amenity is provided and maintained in accordance with policies.

4. No development shall commence until a Construction Traffic Management Plan has been submitted to and approved in writing by the local planning authority. The statement should include:
 - a. photographic condition survey of public carriageways, verges and footways in the vicinity of the site;
 - b. map showing routeing of demolition and construction vehicles to/from the site;
 - c. access arrangements to the site;
 - d. wheel cleaning methodology and facilities;
 - e. contractors/staff/visitors parking;
 - f. the estimated number and type of vehicles per day/week;
 - g. details of any vehicle holding area;
 - h. details of the vehicle call up procedure;
 - i. details of any changes to on-street waiting and loading restrictions that will be required;
 - j. details of measures to protect pedestrians and other highway users from construction activities on the highway;
 - k. Coordination with other development projects in the vicinity;
 - l. Details of measures and training to reduce the danger posed to cyclists by HGVs, including membership of the Freight Operators Recognition Scheme or an approved equivalent;
 - m. Work programme and/or timescale for each phase of the demolition, excavation and construction works; and
 - n. Where works cannot be contained wholly within the site a plan should be submitted showing the site layout on the highway including extent of hoarding, pedestrian routes and remaining road width for vehicle movements.

The development shall be carried out in accordance with the approved construction traffic management plan.

Reason: To minimise the impact of construction works on highway safety, traffic flows and parking.

5. Prior to the occupation of the development, details of the vehicular access arrangements including the operation of any gates and the procedures for ensuring safe and convenient access shall be submitted to and approved in writing by the Local Planning Authority.

Reason: In the interests of amenity and highway safety.

6. Prior to the occupation of the development, details of Parking Management Plan shall be submitted and approved in writing by the Local Planning Authority, which should include:
 - a) Car park plan with the location of bays for staff, visitors, electric vehicle charging and disabled users;

- b) Contact details (telephone/ email, name) of a person/company responsible for managing the car park;
- c) Procedures for managing the parking provision in particular the stacked parking so that it is optimised at all times;
- d) Maintenance regime for apparatus/furniture –lighting etc;
- e) Timescales and process for reviewing the plan including any proposed end date.

Reason: In the interests of amenity and highway safety.

7. Prior to the occupation of the development, details of Travel Plan shall be submitted and approved in writing by the Local Planning Authority. The Travel Plan should incorporate the components set out in Appendix C of the ODPM/DfT publication "Using the planning process to secure travel plans". The approved Travel Plan shall thereafter be implemented and adhered to.

Reason: In the interests of sustainability and to ensure that traffic generated from the site is minimised.

8. Prior to the completion of the construction works, excluding only demolition and restoration works, details of the surfacing materials to be used within the development including footpaths, access roads and parking areas and road markings shall be submitted to and approved in writing by the Local Planning Authority. The surfacing shall be carried out in accordance with the approved details.

Reason: To ensure the development does not prejudice highway safety.

9. Prior to the completion of the construction works, excluding only demolition and restoration works, details of the soft landscaping plan for the proposed play area, including trees, shrubs and grass to be planted on the play area shall be submitted to and approved in writing by the Local Planning Authority. The planting scheme shall be carried out in accordance with the approved details in the first planting season after the completion or first occupation of the development whichever is the sooner. Any planting which dies, becomes severely damaged or diseased within five years of planting shall be replaced with new planting in accordance with the approved details.

Reason: To ensure satisfactory appearance and maintain the green and leafy feel of the curtilage of the Grade II* listed building.

10. Prior to the occupation of the development, details of cycle parking provision including location, type and capacity shall be submitted and agreed to in writing by the Local Planning Authority. The approved details shall thereafter be installed and permanently retained for cycle parking.

Reason: To ensure the provision of cycle parking spaces in line with the Council's adopted standards.

11. Prior to the occupation of the development, excluding only demolition and restoration works, details of refuse and recycling storage facilities in accordance with the London Borough of Enfield Waste and Recycling Planning Storage Guidance ENV 08/162 shall be submitted to and

approved in writing by the Local Planning Authority. The facilities shall be provided in accordance with the approved details before the development is occupied or use commences.

Reason: In the interests of amenity and highway safety.

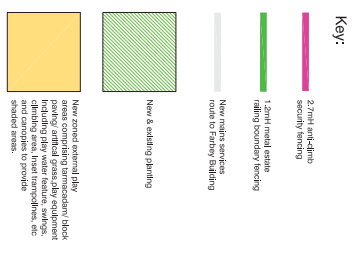
12. No plumbing or pipes shall be fixed to the external facades of the building unless shown on the approved drawings.

Reason: To ensure a satisfactory external appearance and safeguard the Grade II* listed building.



GENERAL NOTES:

1. Do not scale from this plan to other drawings.
2. This drawing is to be used in conjunction with Landscape Architecture drawings.
3. This drawing is to be used in conjunction with Civils Transport drawings.



OCP
5.0 x 2.5m covered cycle parking for 12 no. bicycles.

PTW
2.1 x 1.4m permeable paving for cycle paths.

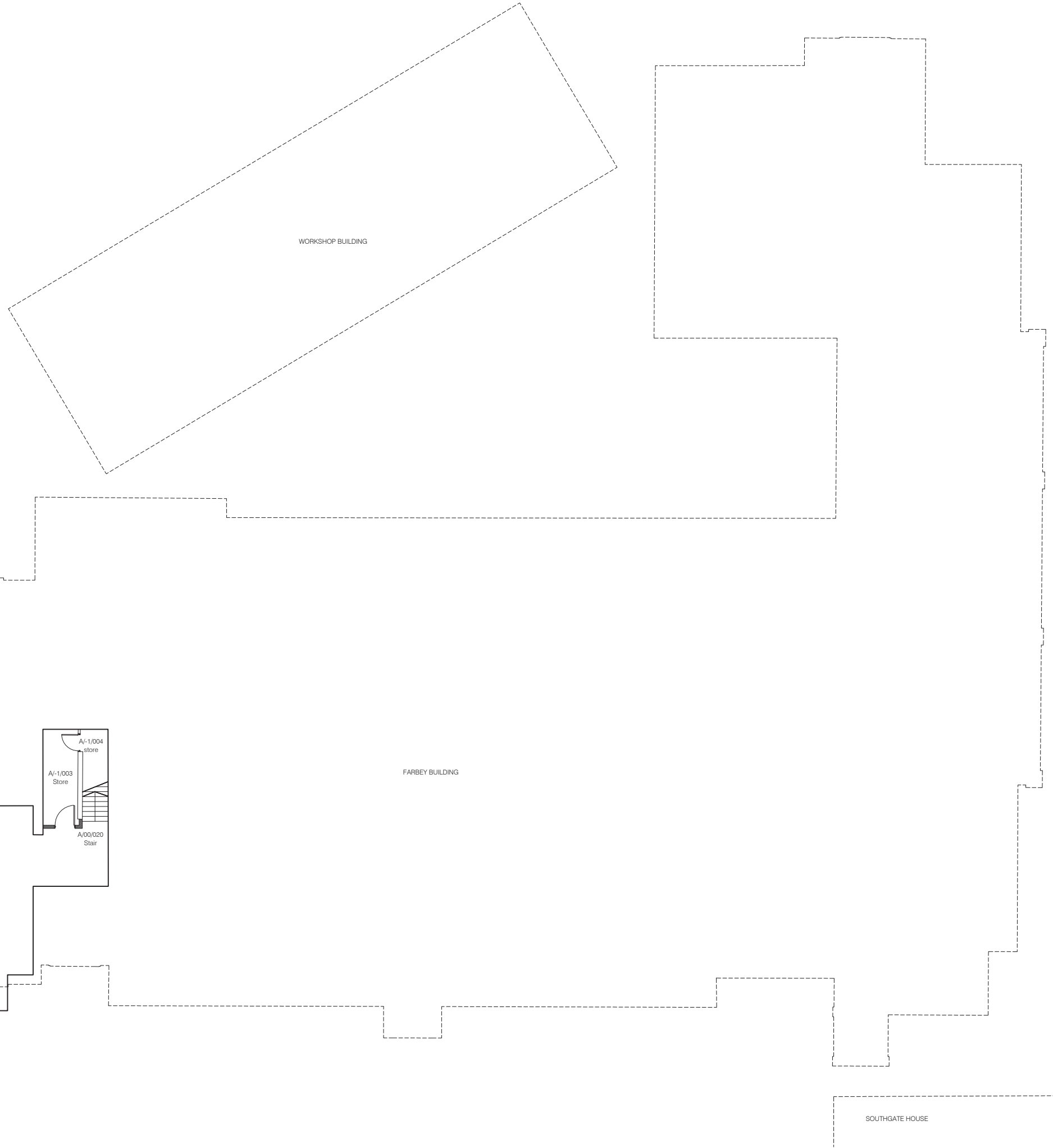
Rev.	Date	Description
B	01/17	Revised drawing to include new play area and cycle parking.
A	06/16	Revised drawing to include new play area and cycle parking.
Rev.	Date	Description

bhp architects

London Borough of Enfield
The Farley Building
Minchenden School Site
London N14 6BS

PROPOSED SITE LAYOUT

Client	Enfield Council
Site	740-12
Date	12/01/16
Scale	1:200 @ A4



GENERAL NOTES:

1. Do not scale from this drawing unless for planning
2. All existing steel PPC framed single glazed windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed window in new timber painted sub-frames. All to match existing
3. Replace all internal doors with new laminate faced solid core doors and painted frames

KEY:

- Existing walls/ partitions
- New cavity wall construction
- New walls/ partitions

Rev	Date	Description	Name
A	09.16	Planning Application	



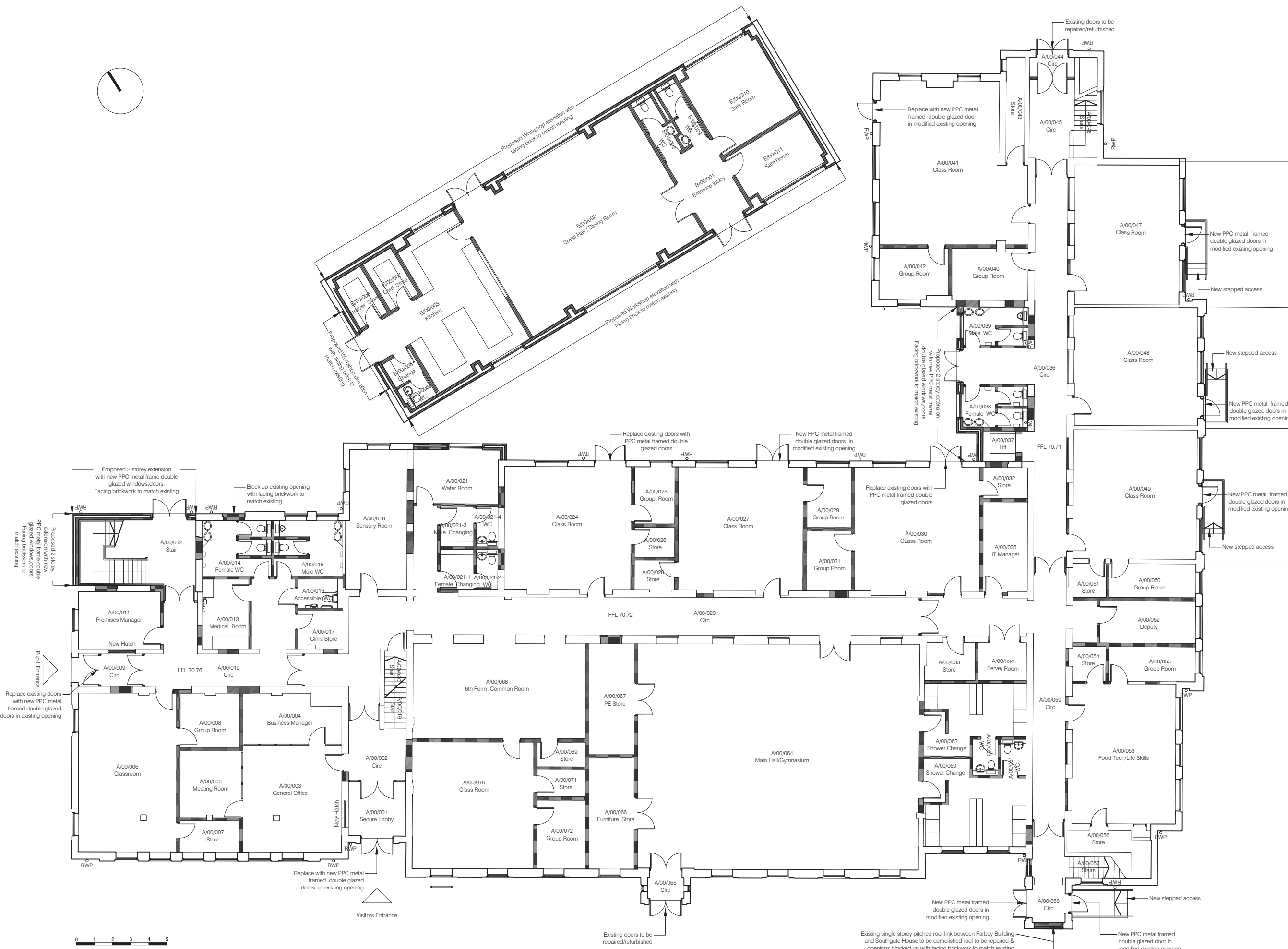
Nicholas House River Front Enfield Middlesex EN1 3TF
 t +44 (0) 208 367 8000 f +44 (0) 208 363 3606 e info@bhparchitects.com

Minchenden School Site
 High Street
 London
 N14 6BS

drawn	SG	file	LBE 740
date	June 2016	scale @ A1	1:100

Farbey Building
 Proposed Basement Floor Plan

job number	drawing number	revision
740	140	A



- GENERAL NOTES:**
- Do not scale from this drawing unless for planning
 - All existing steel PPC framed single glazed windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed window in new timber painted sub-frames. All to match existing
 - Replace all internal doors with new laminated faced solid core doors and painted frames

KEY:

- Existing walls/ partitions
- New cavity wall construction
- New walls/ partitions

Rev.	Date	Description	Name
A	09.16	Planning Application	RB

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Minchenden School Site
 High Street
 London
 N14 6BS

drawn	SG	file	LBE 740
date	June 2016	scale @ A1	1:100

**Farbey & Workshop Buildings
 Proposed Ground floor Plan**

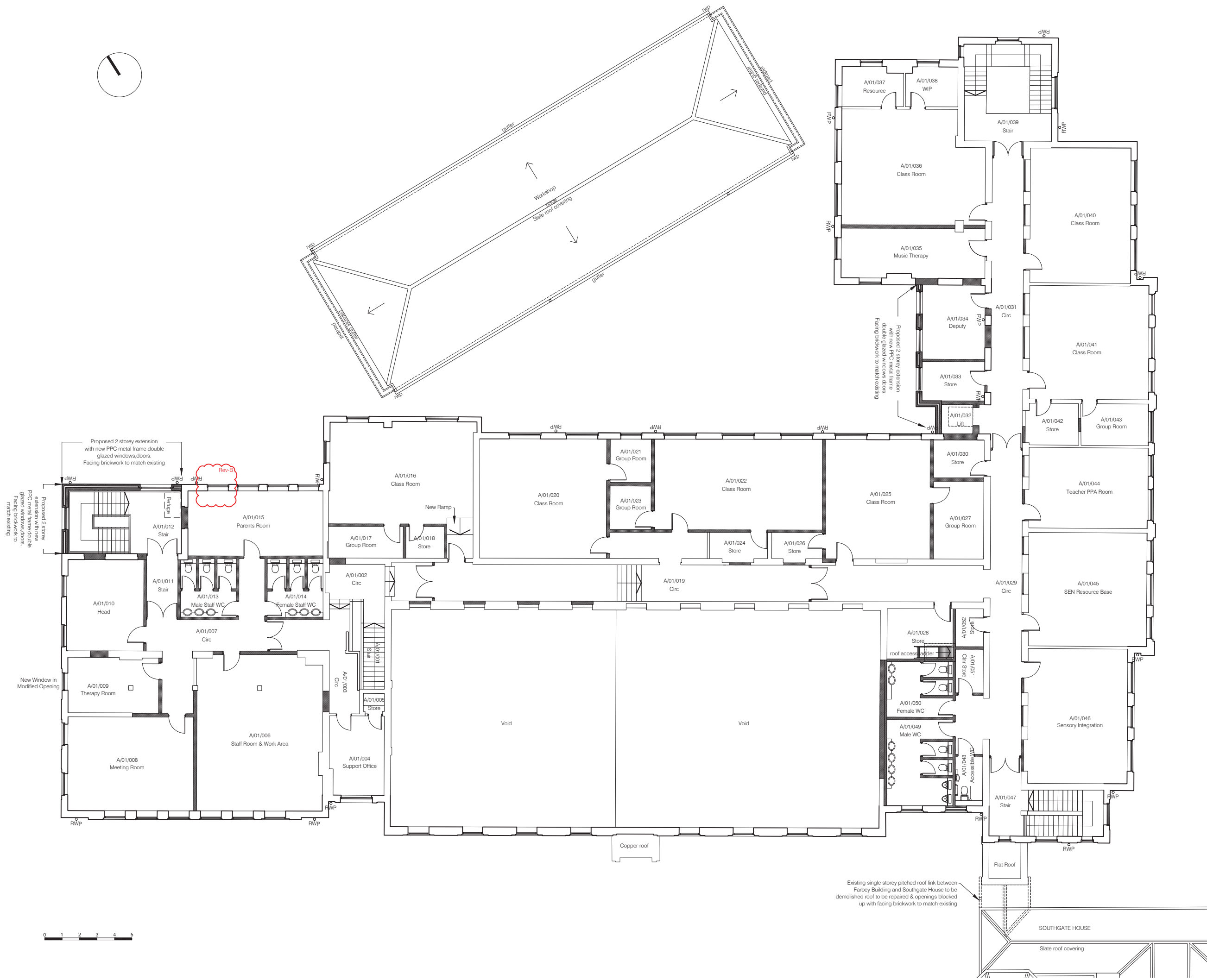
job number	drawing number	revision
740	141	A

GENERAL NOTES:

1. Do not scale from this drawing unless for planning
2. All existing steel PPC framed single glazed windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed window in new timber painted sub-frames. All to match existing
3. Replace all internal doors with new laminate faced core doors and painted frames

KEY:

- Existing walls/ partitions
- New cavity wall construction
- New walls/ partitions



Rev.	Date	Description	Name
B	10.16	Window added to plan not shown on survey dwg	RB
A	09.16	Planning Application	RB

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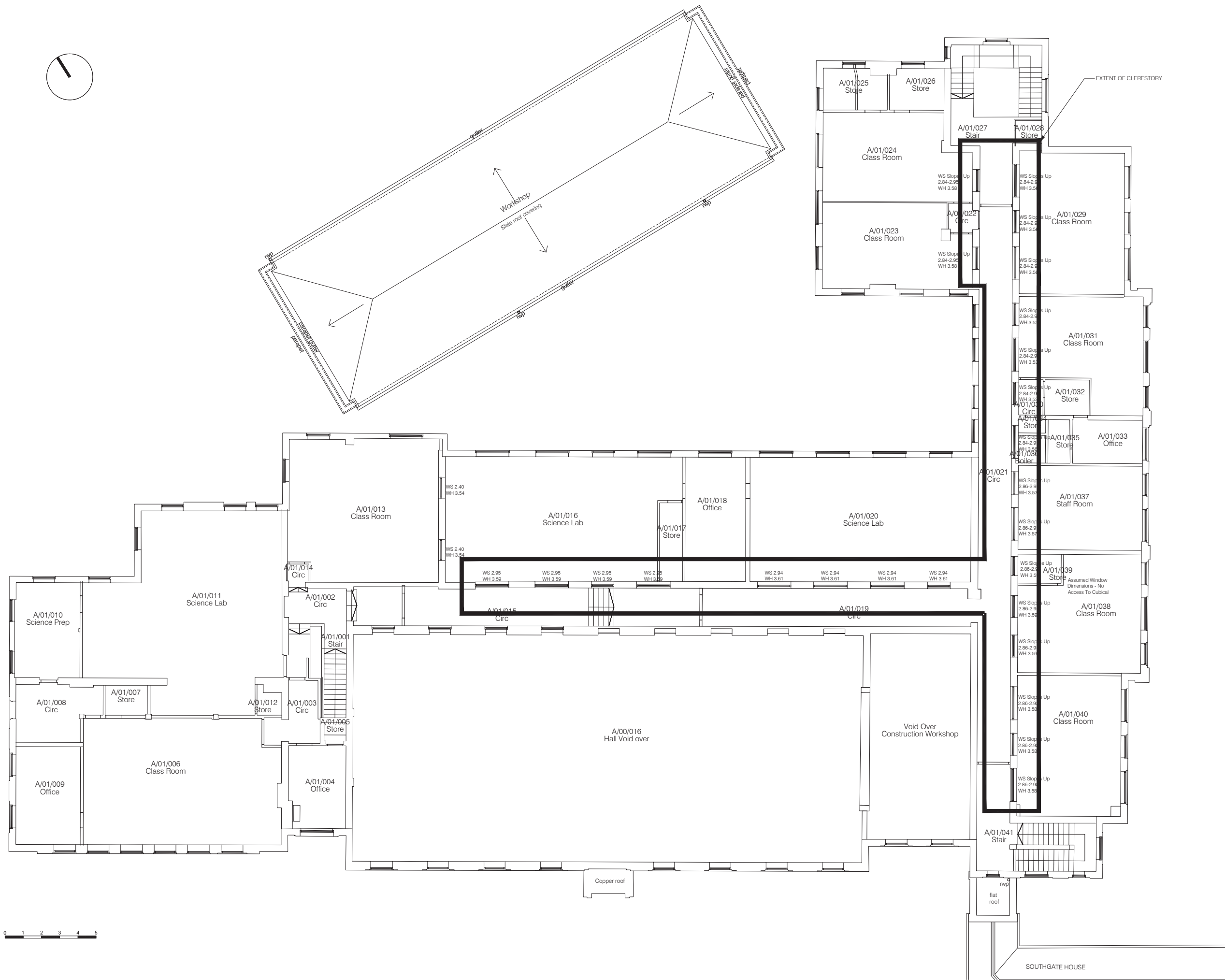
Minchenden School Site
 High Street
 London
 N14 6BS

drawn	file
SG	LBE 740
date	scale @ A1
June 2016	1:100

Farbey & Workshop Buildings
 Proposed First floor Plan

job number	drawing number	revision
740	142	B

- GENERAL NOTES:
1. Do not scale from this drawing unless for planning
 2. All existing steel PPC framed single glazed clerestory windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed window in new timber painted sub-frames. All to match existing



Rev.	Date	Description	RB
A	09.16	Planning Application	RB

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Minchenden School Site
 High Street
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drawn	file
SG	LBE 740
date	scale @ A1
June 2016	1:100

Farbey Building
 Proposed Clerestory Plan






job number	drawing number	revision
740	143	A

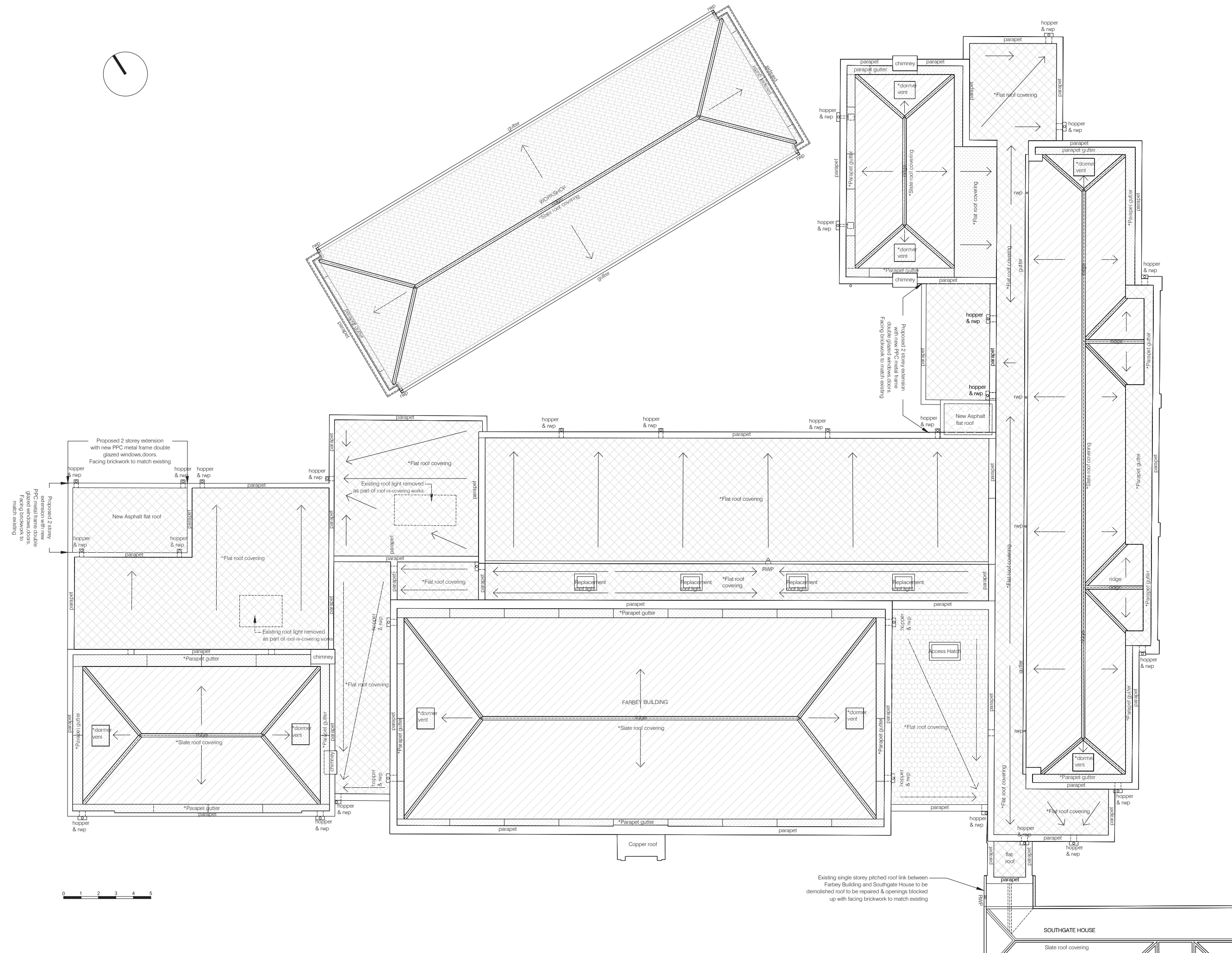
GENERAL NOTES:

- Do not scale from this drawing unless for planning

KEY

- * New roof coverings subject to separate application for Lawful Development Certificate for proposed works

-  New natural slating
-  New lead sheet coverings/flashings
-  New mastic asphalt roofing/insulation/finishes
-  New raised roof structure with new roof covering subject to Lawful development Certificate for proposed works
-  Existing roof to be repaired



Rev.	Date	Description	Name
A	09.16	Planning Application	RB

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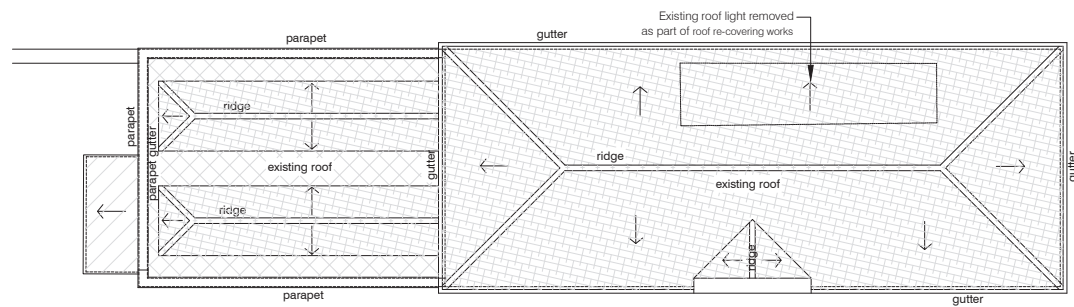
Nicholas House River Front Enfield Middlesex EN1 3TF
 1 + 44 (0) 208 367 8000 1 + 44 (0) 208 363 3606 e info@bhparchitects.com

Minchenden School Site
 High Street
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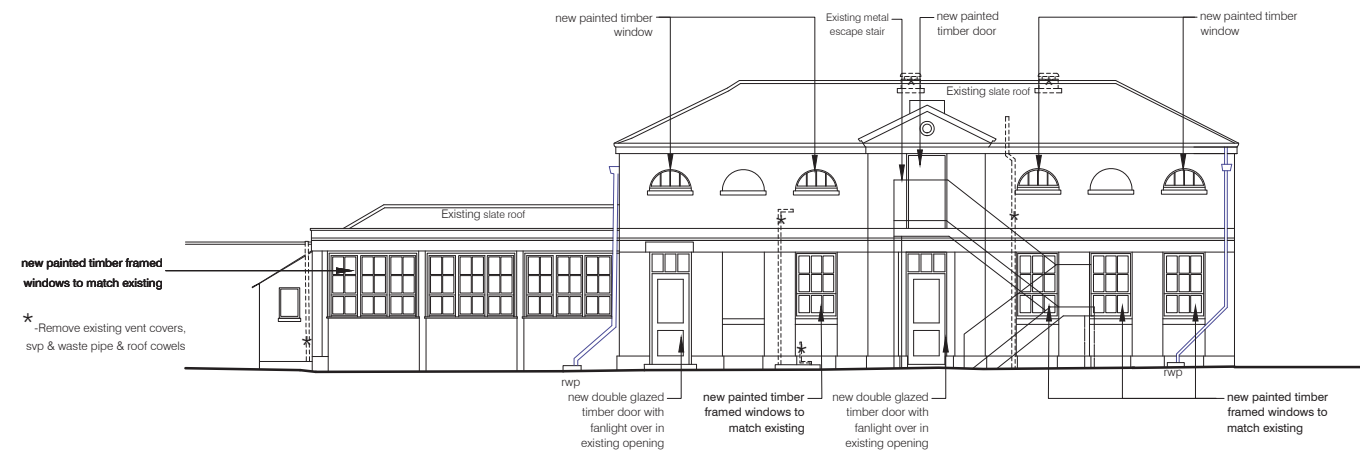
drawn	SG	file	LBE 740
date	June 2016	scale @ A1	1:100

Farbey & Workshop Buildings
 Proposed Roof Plan

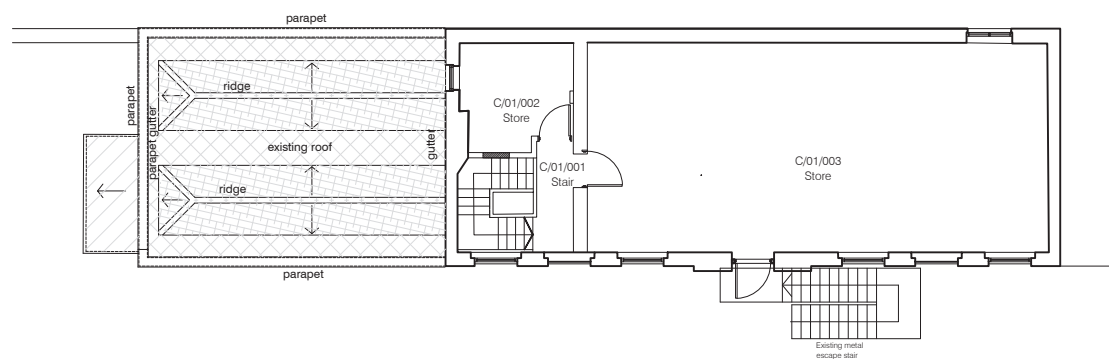
job number	drawing number	revision
740	144	A



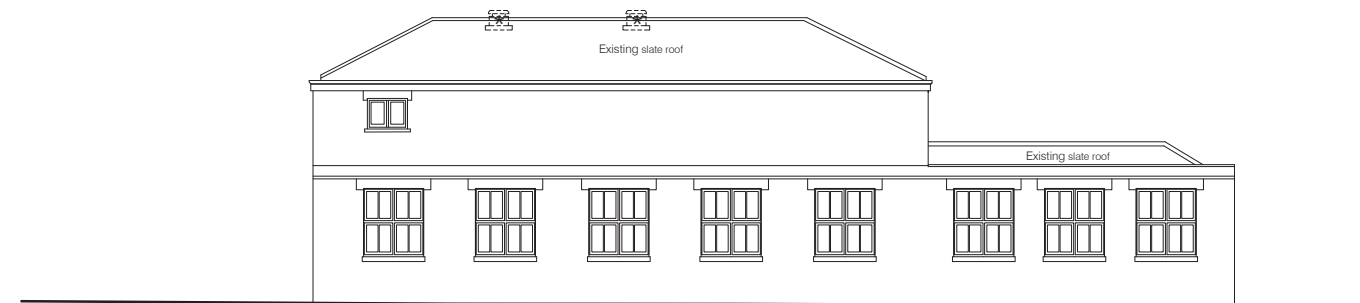
3. PROPOSED ROOF PLAN



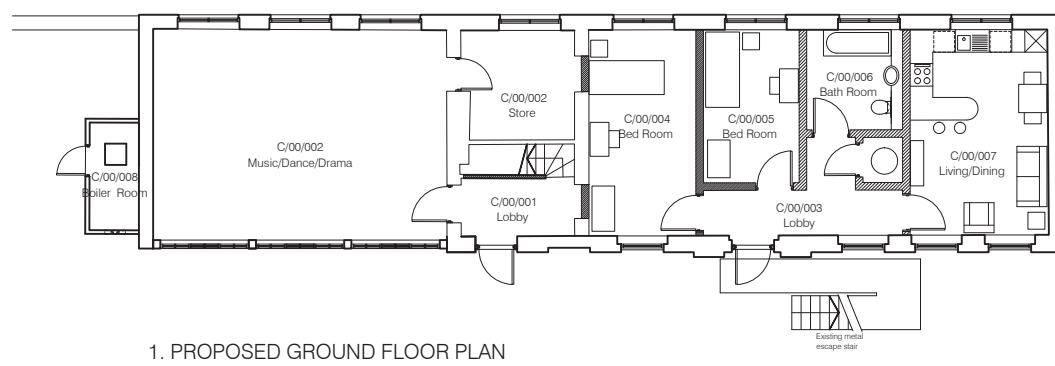
7. PROPOSED EAST ELEVATION



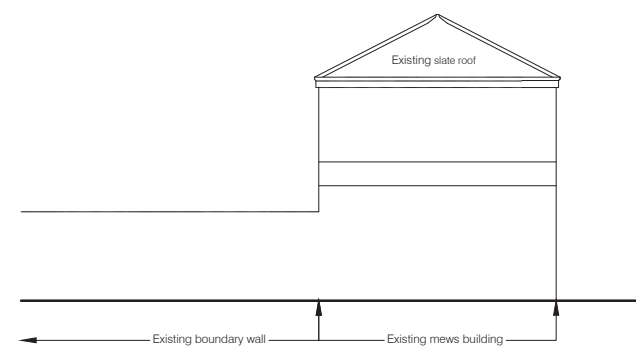
2. PROPOSED FIRST FLOOR PLAN



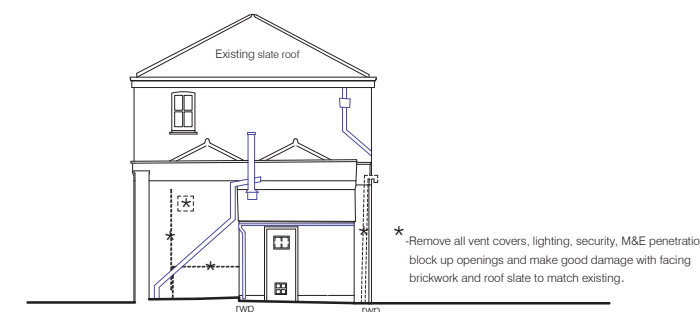
6. PROPOSED WEST ELEVATION



1. PROPOSED GROUND FLOOR PLAN



4. PROPOSED NORTH ELEVATION



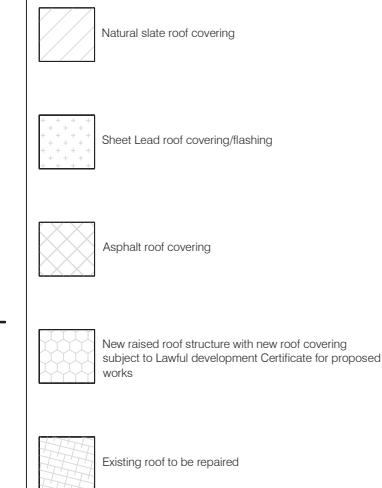
5. PROPOSED SOUTH ELEVATION

GENERAL NOTES:

1. Do not scale from this drawing unless for planning
2. All existing single glazed windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed window in new painted sub-frames. All to match existing

KEY

- * New roof coverings subject to separate application for Lawful Development Certificate for proposed works



Rev.	Date	Description	Name
A	09.16	Planning Application	RB

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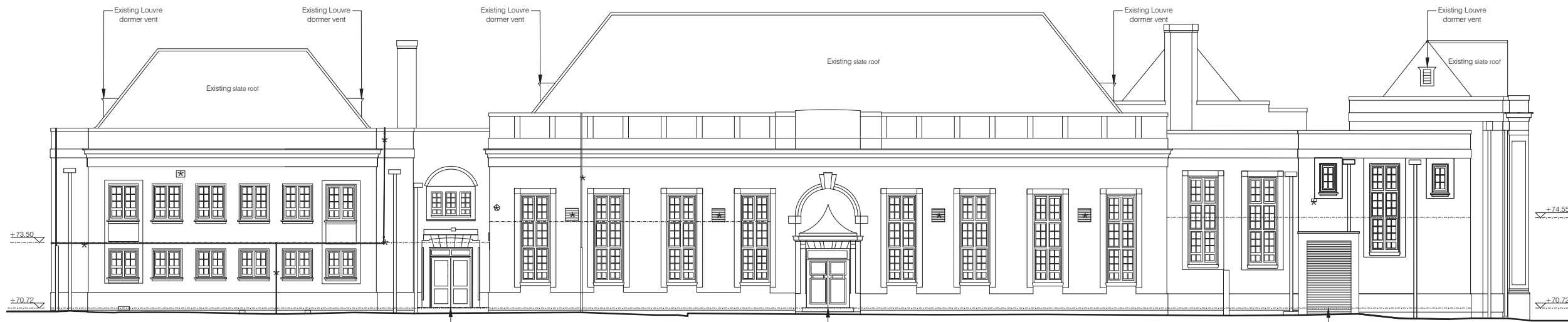
Minchenden School Site
 High Street
 London
 N14 6BS

drawn	SG	file	LBE 740
date	June 2016	scale @ A1	1:100

Mews Building
 Proposed Floor Plans & Elevations

job number	drawing number	revision
740	145	A

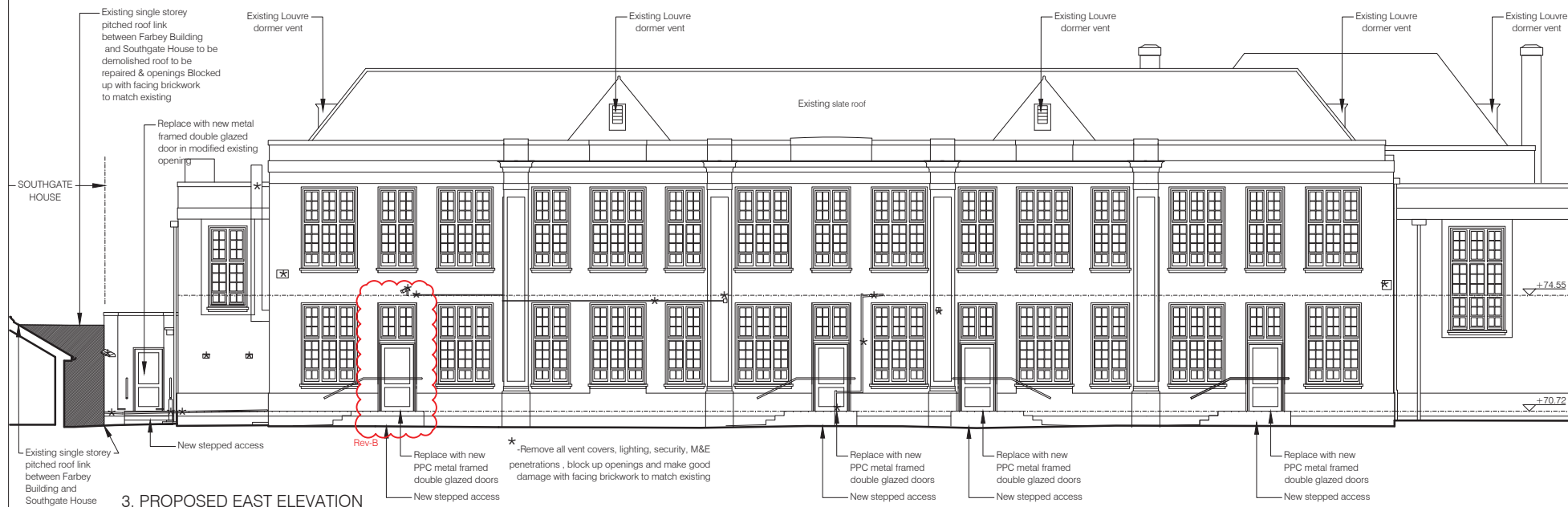




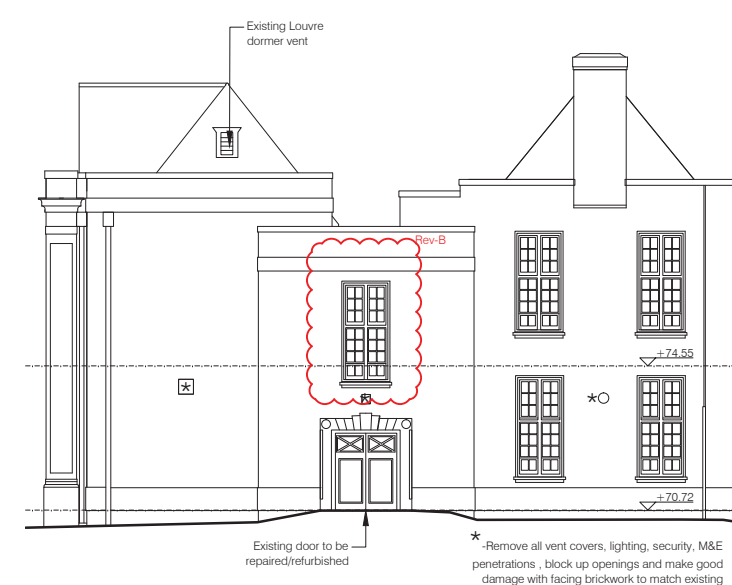
1. PROPOSED SOUTH ELEVATION



2. PROPOSED NORTH ELEVATION



3. PROPOSED EAST ELEVATION

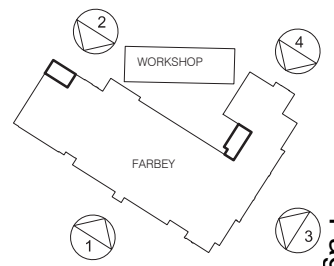


4. PROPOSED NORTH ELEVATION

GENERAL NOTES:

- Do not scale from this drawing unless for planning
- All existing steel PPC framed single glazed windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed windows in new timber painted sub-frames. All to match existing
- Replace all internal doors with new laminate faced solid core doors and painted frames

ELEVATION KEY



Rev.	Date	Description	Name
B	10.16	Door added to East elevation Window added to north elevation not shown on survey dwg	RB
A	09.16	Planning Application	RB

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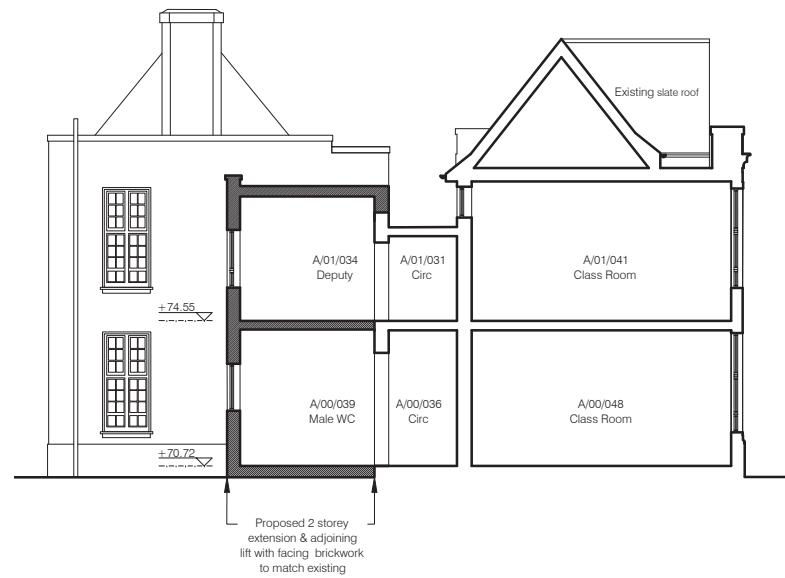
Nicholas House River Front Enfield Middlesex EN1 3TF
t +44 (0) 208 367 8000 f +44 (0) 208 363 3608 e info@bhparchitects.com

Minchenden School Site
High Street
London
N14 6BS

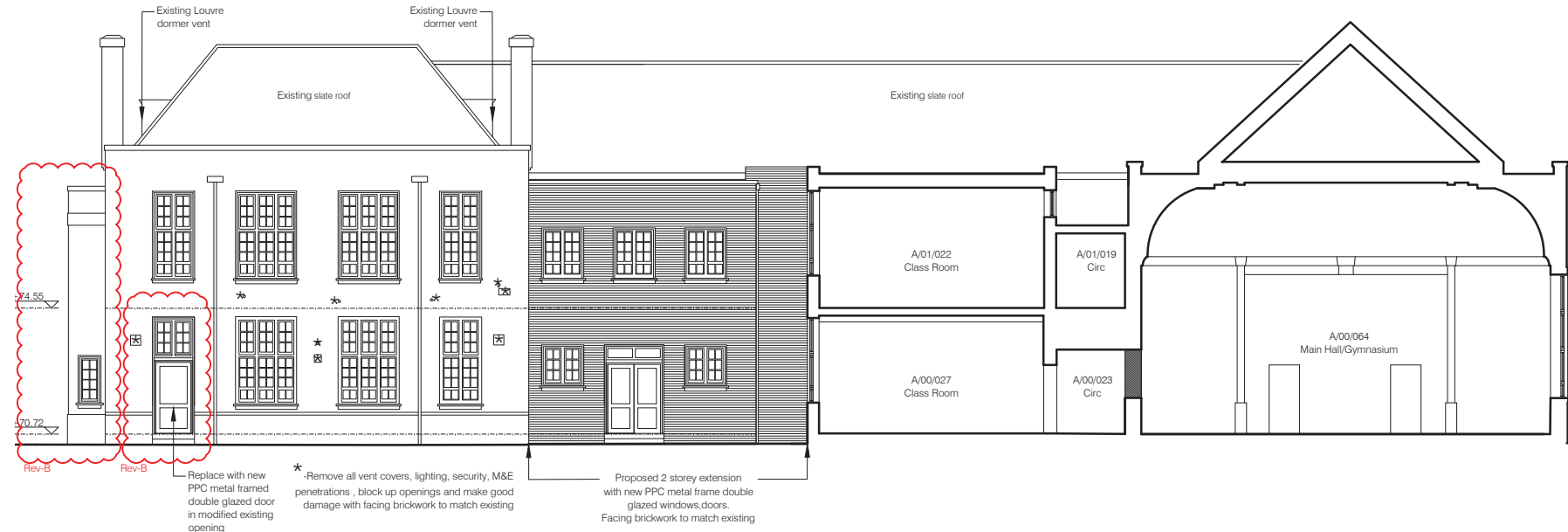
drawn	file
SG	LBE 740
date	scale @ A1
July 2016	1:100

Farbey Building
Proposed Elevations

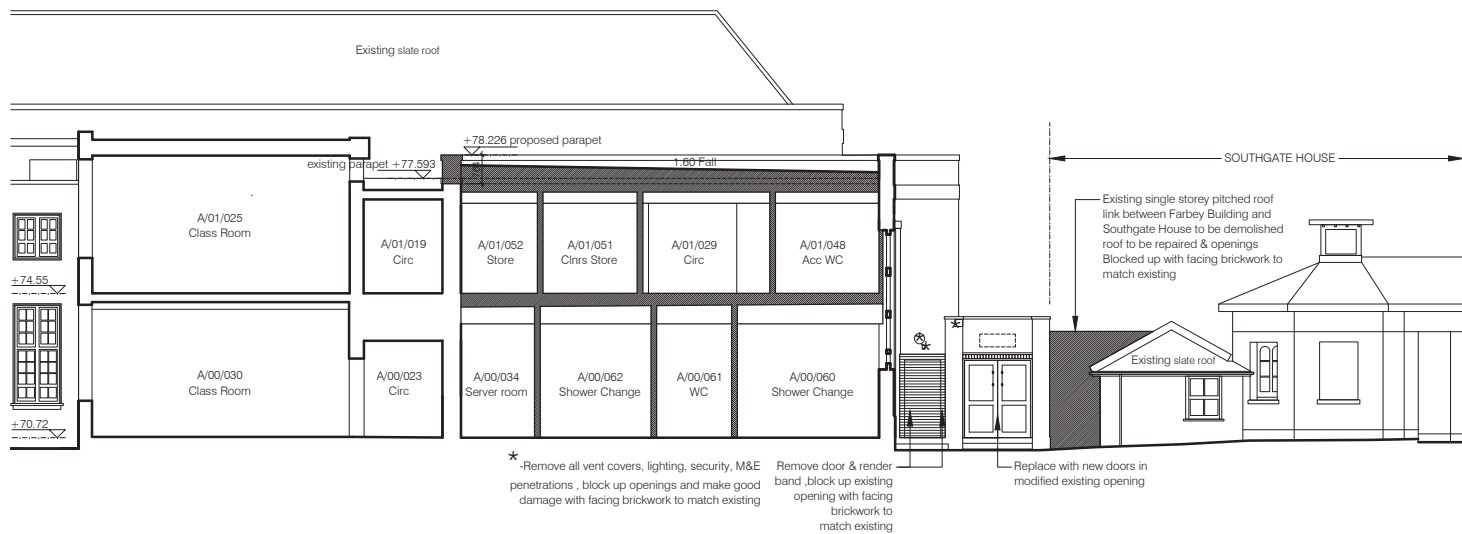
job number	drawing number	revision
740	150	B



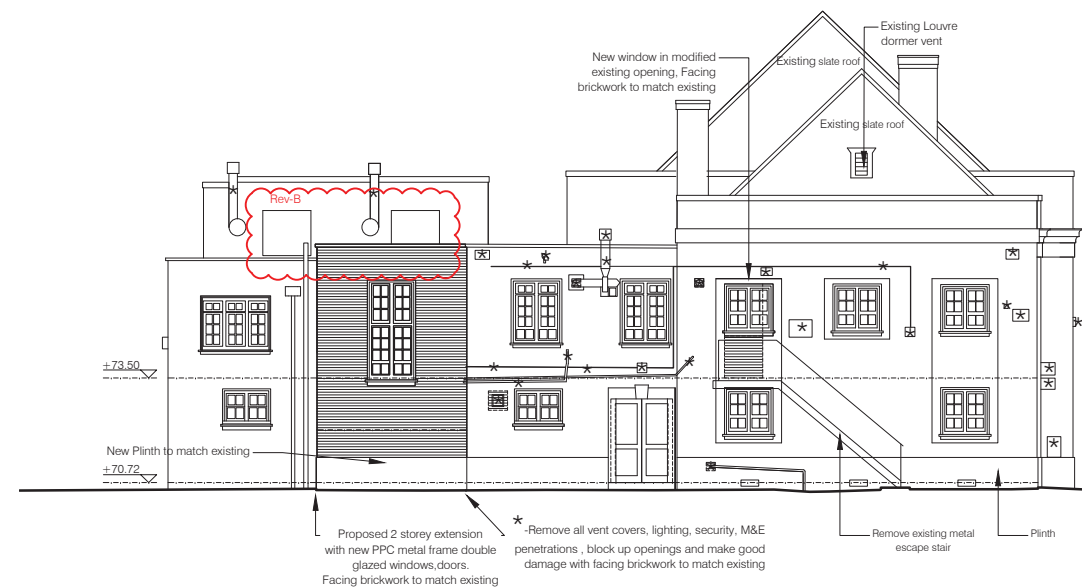
5. PROPOSED SOUTH SECTIONAL ELEVATION



6. PROPOSED WEST SECTIONAL ELEVATION



7. PROPOSED WEST SECTIONAL ELEVATION

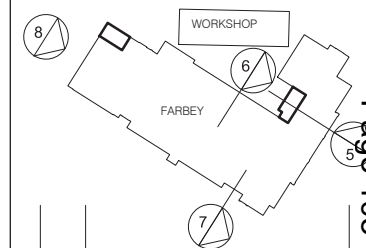


8. PROPOSED WEST ELEVATION

GENERAL NOTES:

1. Do not scale from this drawing unless for planning
2. All existing steel PPC framed single glazed windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed windows in new timber painted sub-frames. All to match existing
3. Replace all internal doors with new laminate faced solid core doors and painted frames

ELEVATION KEY



Rev.	Date	Description	Name
B	10.16	Part west elevation added not shown on survey dwg. Door added to west elevation shown on plan Clerestory windows added to west elevation not shown on survey	RB
A	09.16	Planning Application	RB

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Nicholas House River Front Enfield Middlesex EN1 3TF
t +44 (0) 208 367 8000 f +44 (0) 208 363 3608 e info@bhparchitects.com

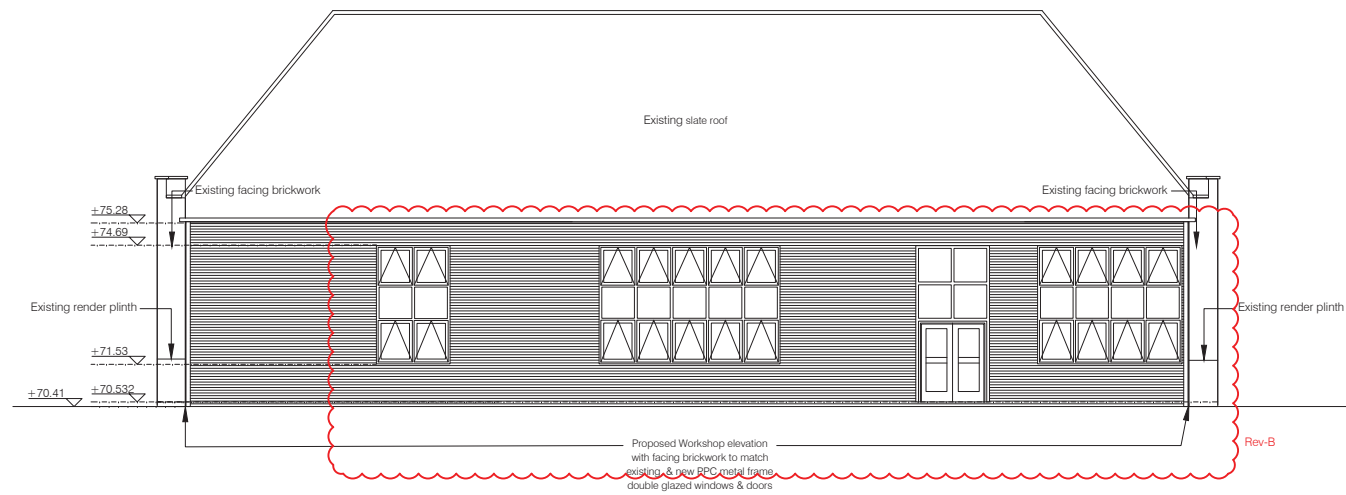
Minchenden School Site
High Street
London
N14 6BS

drawn	file
SG	LBE 740
date	scale @ A1
July 2016	1:100

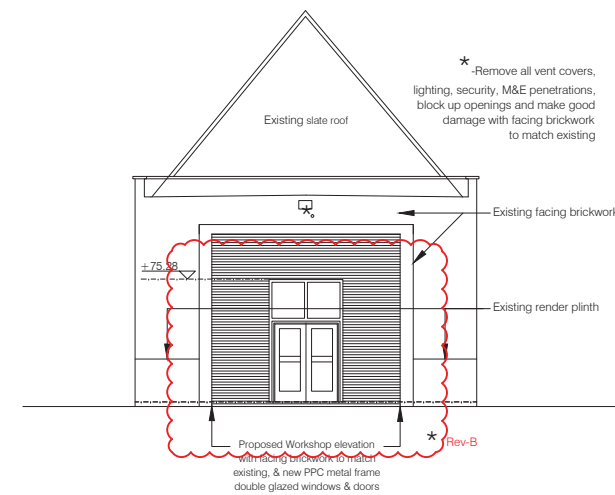
Farbey Building
Proposed Sectional Elevations

job number	drawing number	revision
740	151	B

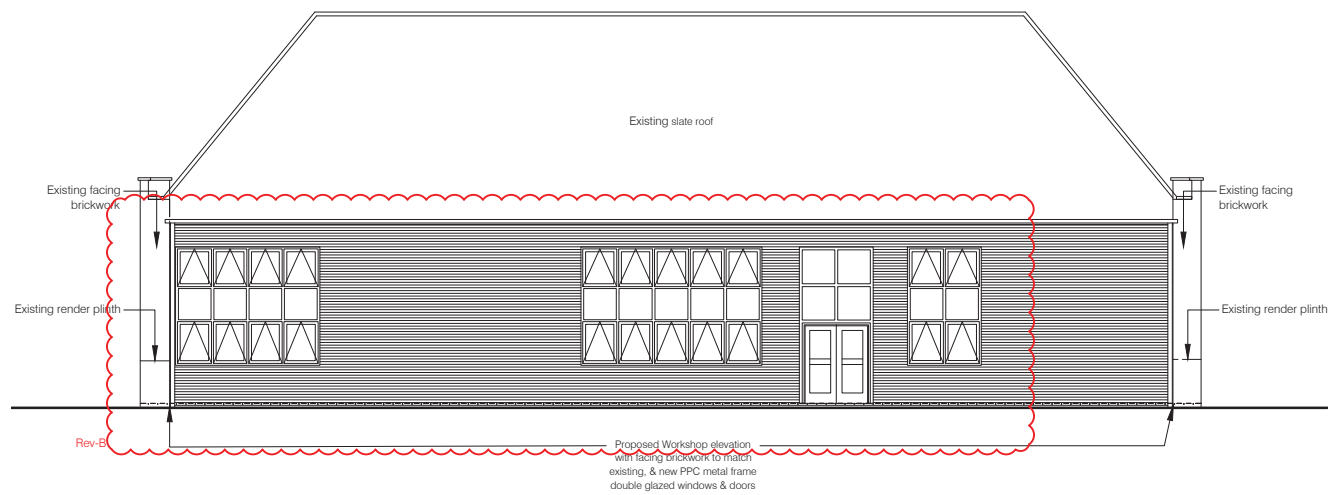




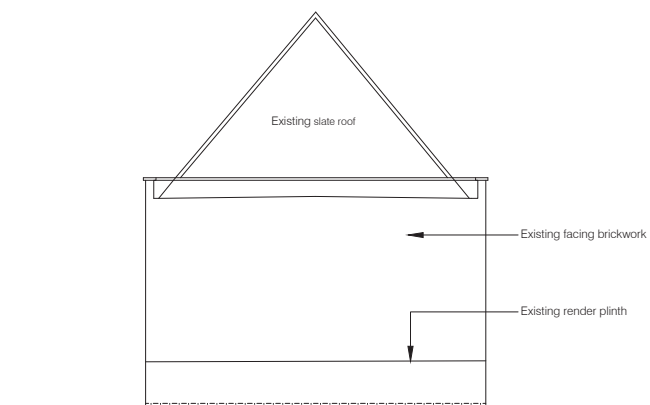
7. PROPOSED SOUTH ELEVATION



8. PROPOSED WEST ELEVATION



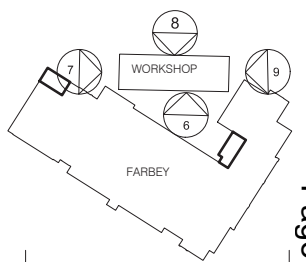
9. PROPOSED NORTH ELEVATION



10. PROPOSED EAST ELEVATION

- GENERAL NOTES:
1. Do not scale from this drawing unless for planning
 2. All existing steel PPC framed single glazed windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed windows in new timber painted sub-frames. All to match existing
 3. Replace all internal doors with new laminate faced solid core doors and painted frames

ELEVATION KEY



Rev.	Date	Description	Name
B	10.16	Elevation amended to co-ordinate with survey	RB
A	09.16	Planning Application	RB

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Minchenden School Site
 High Street
 London
 N14 6BS

drawn	file
SG	LBE 740
date	scale @ A1
July 2016	1:100

Workshop Building
 Proposed Elevations

job number	drawing number	revision
740	152	B





PROPOSED SOUTH ELEVATION 1

1. PROPOSED SOUTH ELEVATION



PROPOSED SOUTH ELEVATION 2

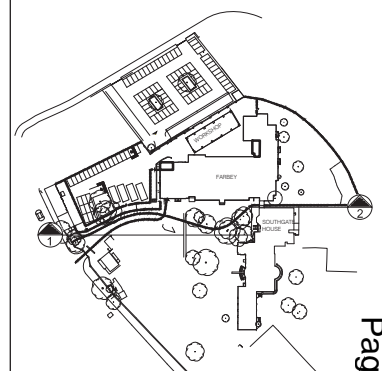
2. PROPOSED SOUTH ELEVATION



GENERAL NOTES:

1. Do not scale from this drawing unless for planning

ELEVATION KEY



Rev.	Date	Description	Name
A	09.16	Planning Application	RB



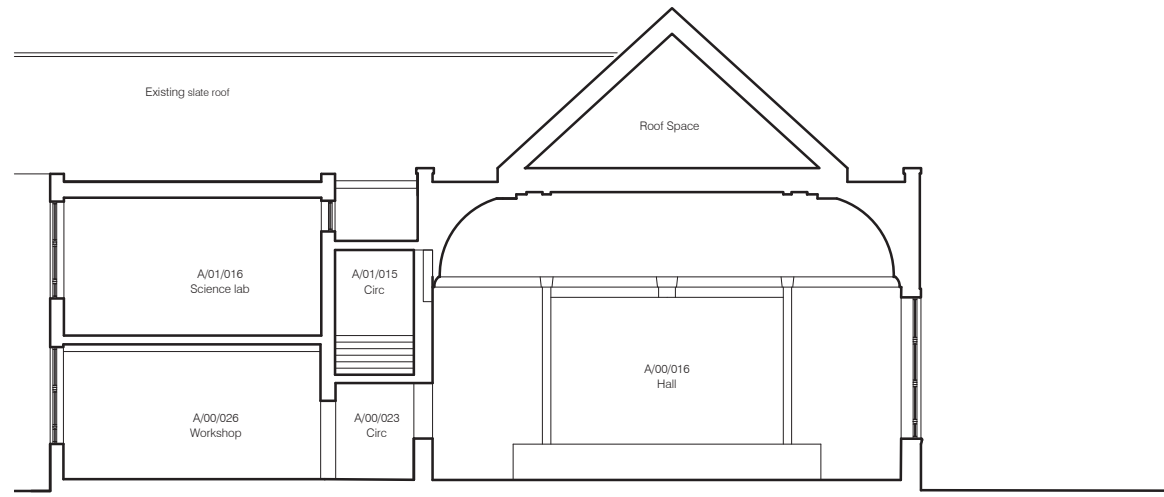
Nicholas House River Front Enfield Middlesex EN1 3TF
 t +44 (0) 208 367 8000 f +44 (0) 208 363 3606 e info@bhparchitects.com

Minchenden School Site
 High Street
 London
 N14 6BS

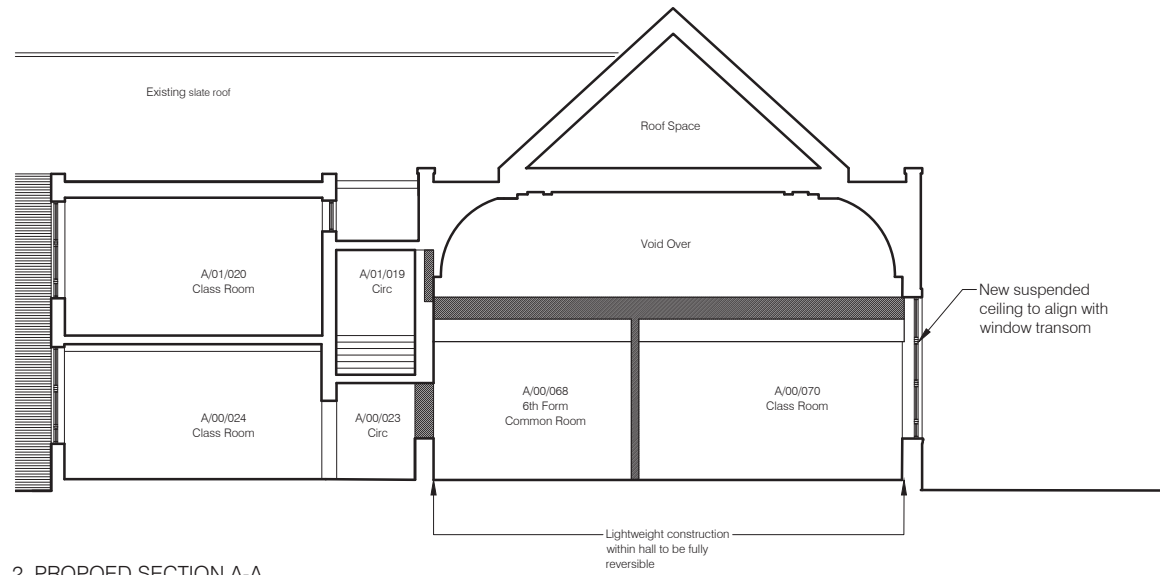
drawn	SG	file	LBE 740
date	July 2016	scale @ A1	1:100

South Elevation of School site
 as viewed from Southgate House

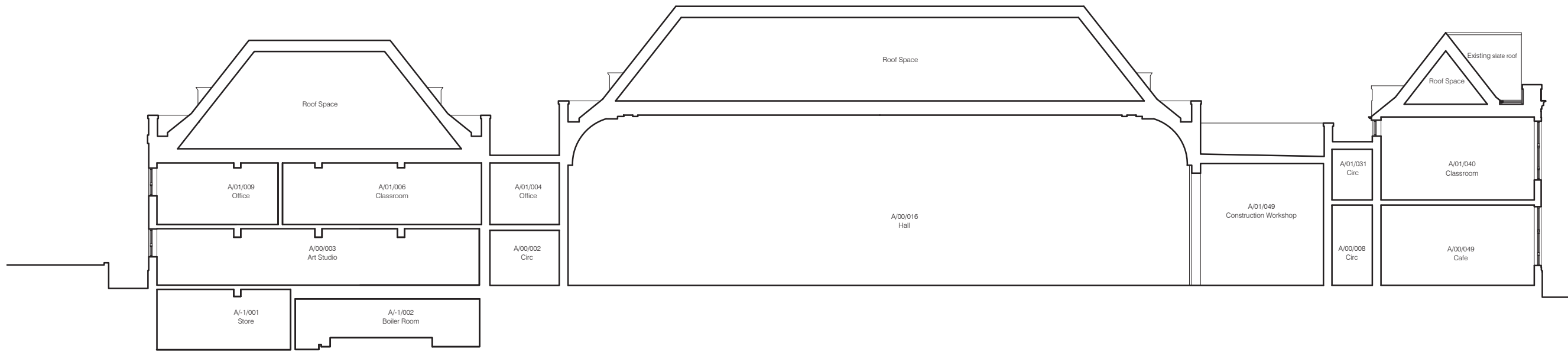
job number	drawing number	revision
740	153	A



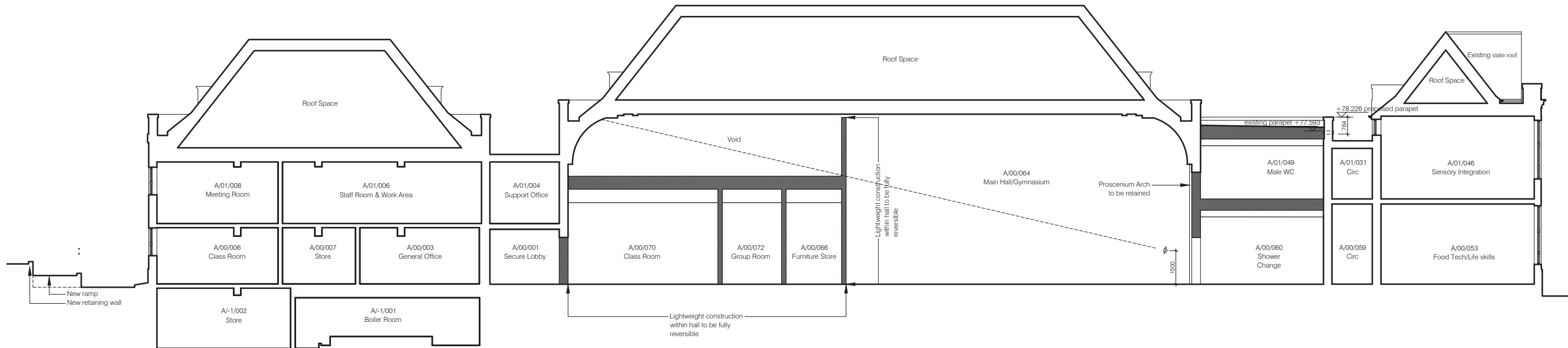
1. EXISTING SECTION A-A



2. PROPOSED SECTION A-A



3. EXISTING SECTION B-B



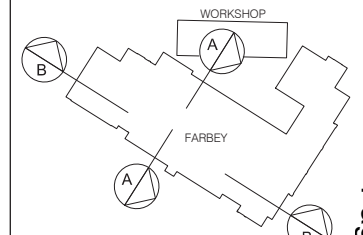
4. PROPOSED SECTION B-B



GENERAL NOTES:

1. Do not scale from this drawing unless for planning
2. All existing steel PPC framed single glazed windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed windows in new timber painted sub-frames. All to match existing
3. Replace all internal doors with new laminate faced solid core doors and painted frames

ELEVATION KEY



Rev.	Date	Description	Name
A	09.16	Planning Application	RB

bhp architects

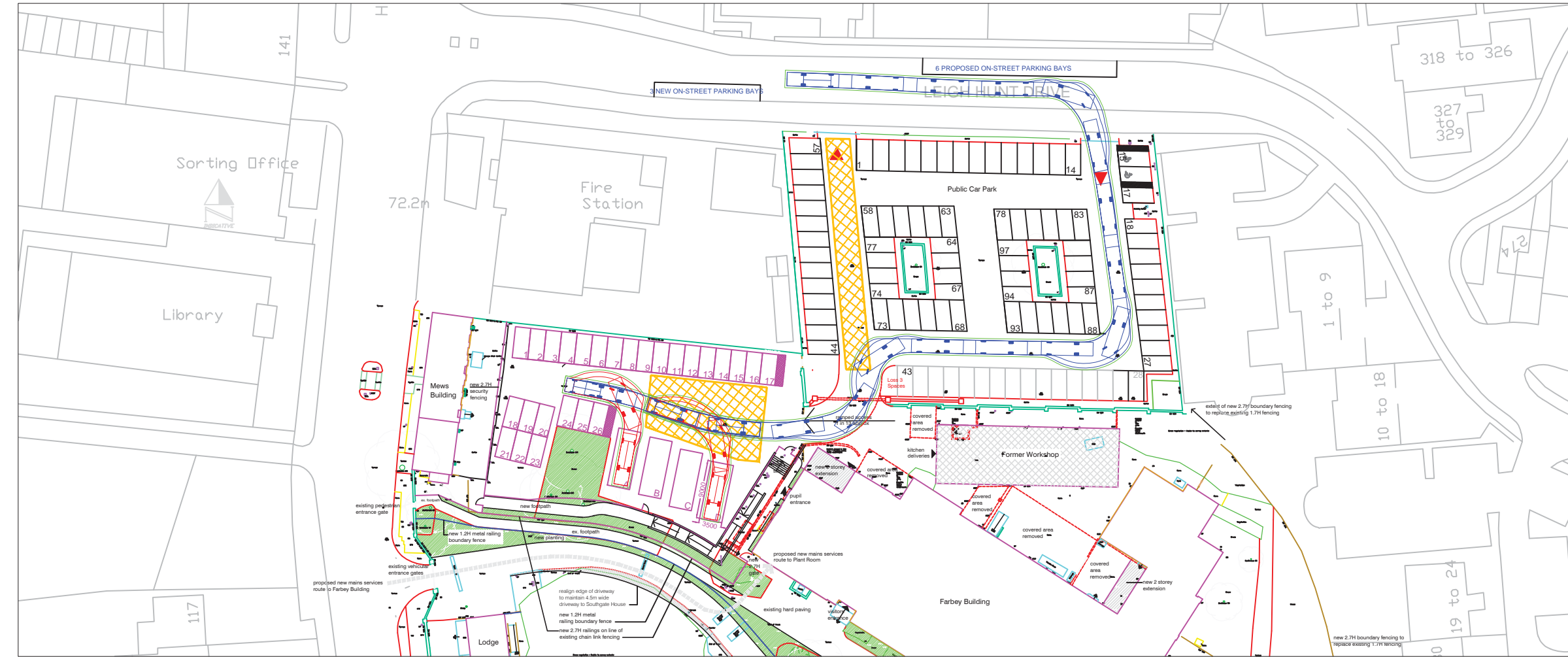
Nicholas House River Front Enfield Middlesex EN1 3TF
 t +44 (0) 208 367 8000 f +44 (0) 208 363 3608 e info@bhparchitects.com

Minchenden School Site
 High Street
 London
 N14 6BS

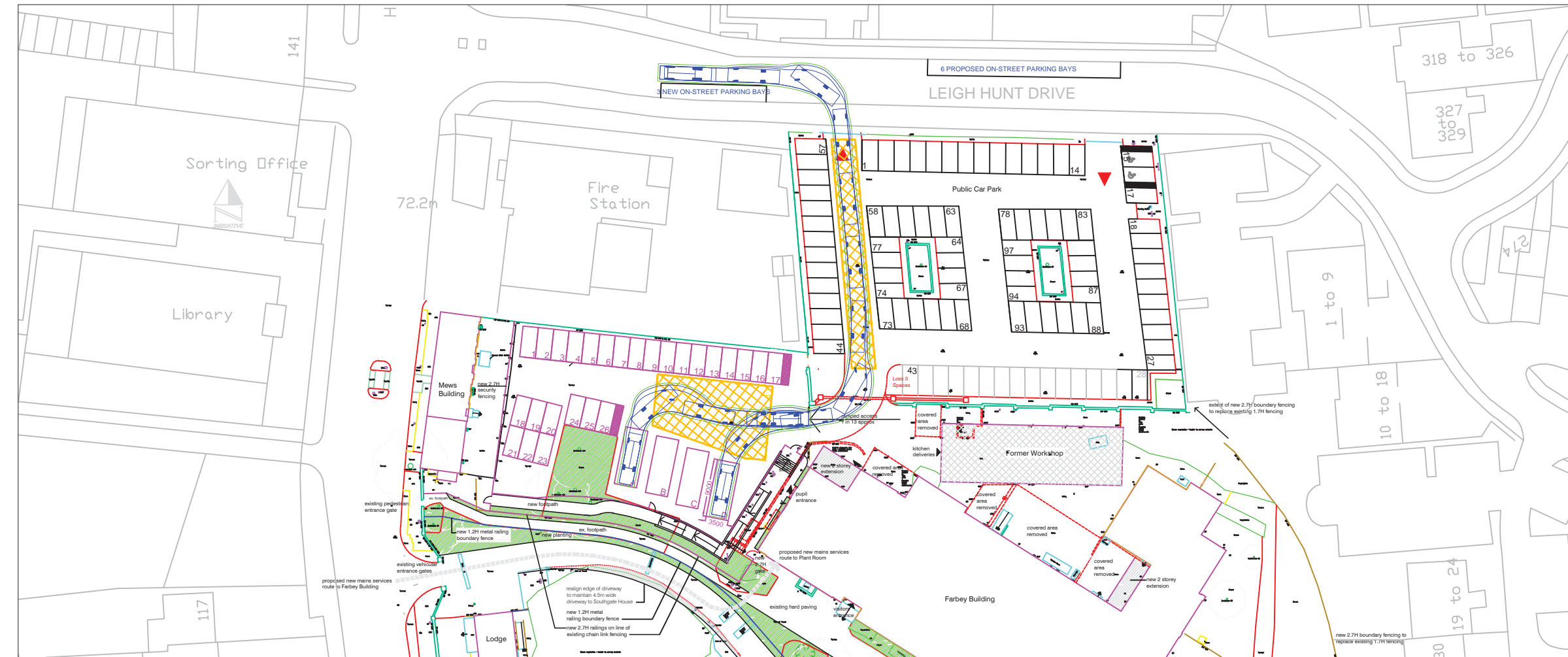
drawn	file
SG	LBE 740
date	scale @ A1
July 2016	1:100

Farbey Building
 Existing & Proposed Sections

job number	drawing number	revision
740	160	A

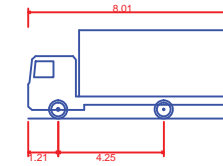


1. Design Vehicle (7.5T Box Van / 22 Seater Minibus) entering the site from Leigh Hunt Drive via the public car park and reversing into minibus parking spaces A and D.



2. Design Vehicle (7.5T Box Van / 22 Seater Minibus) exiting the site via the public car park to Leigh Hunt Drive.

VEHICLE TRACK DETAILS



7.5t Box Van (Similar Dimensions to 22 Seater Minibus)
 Overall Length 8.010m
 Overall Width 2.100m
 Overall Body Height 3.556m
 Min Body Ground Clearance 0.351m
 Track Width 2.064m
 Lock to Lock Time 4.00s
 Kerb to Kerb Turning Radius 7.400m

KEY

- Minibus Parking Bay
9m x 3.5m with 1.5m spacing
- Staff Car Parking Bay
2.4m x 4.8m
- Proposed Access
(Loss of 3 spaces in P&D Car Park)
- Proposed Sliding Access Gate
- Yellow Box Markings to be kept clear at all times

NOTE

1. Based on Topographical Survey
2. Subject to Highway Boundary Information, Stage 1 Safety Audit (if required), and Council Approval.

PRELIMINARY

COTTEE Transport Planning

Fir Lodge
Threshelfords Business Park
Feering
Essex
CO5 9SE
 Tel : 01376 573400
 Fax : 01376 573480
 email : info@cottee-tp.co.uk
 www.cotteetransportplanning.co.uk

Client
ENFIELD COUNCIL

Project
MINCHENDEN SCHOOL SOUTHGATE

Title
PROPOSED PARKING AREA LAYOUT AND ACCESS OPTION 5 ACCESS / EXIT FROM LEIGH HUNT DRIVE (AVOIDING HERITAGE WALL)

Drawn **A FIRMIN** Checked **MAC**

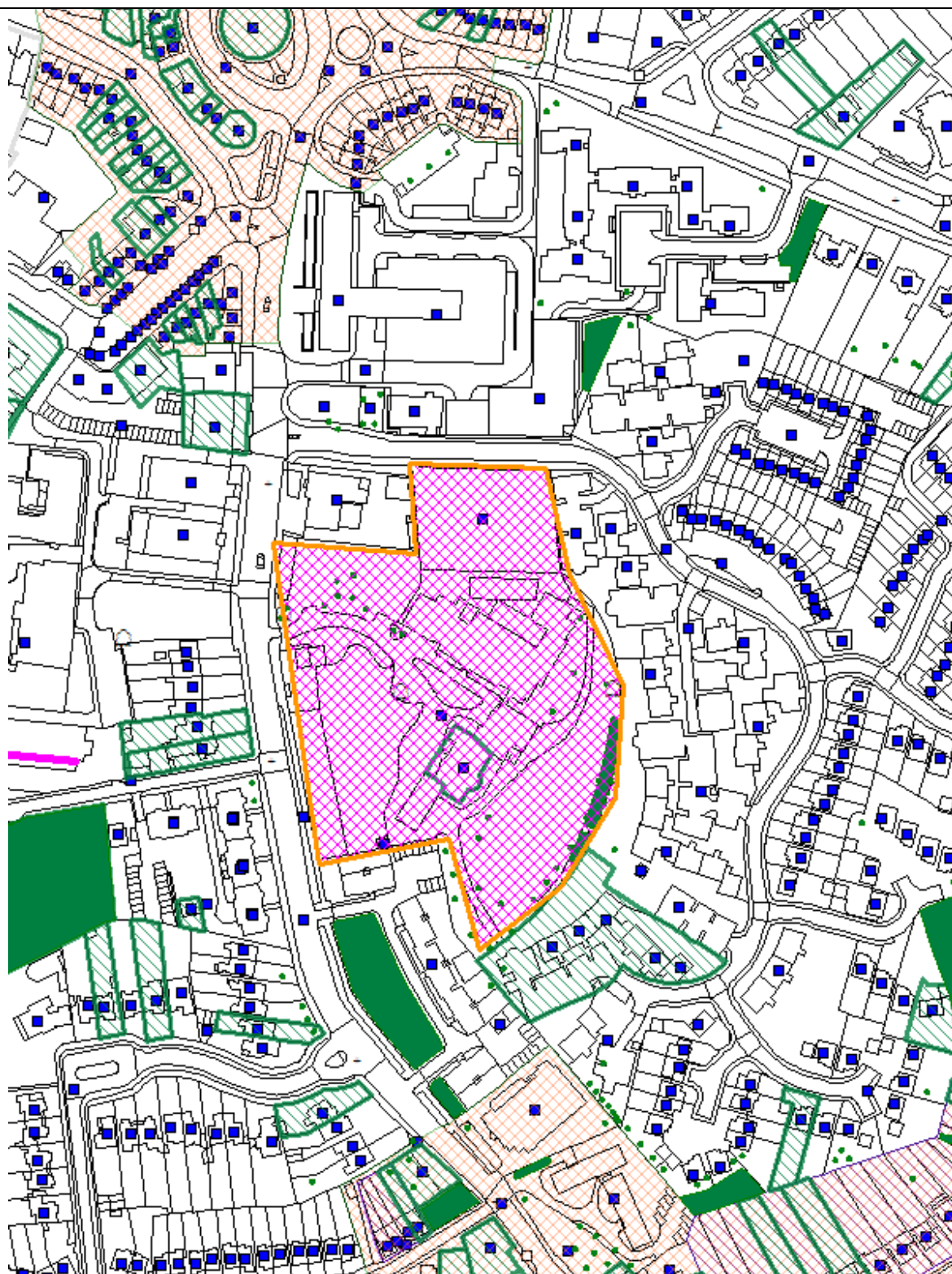
Scale **NTS @ A3** Date **AUG 2016**

Drawing No. **1626/20C**

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LONDON BOROUGH OF ENFIELD		
PLANNING COMMITTEE		Date : 24th January 2017
Report of Assistant Director, Planning, Highways & Transportation	Contact Officer: Andy Higham Sharon Davidson Ms Marina Lai	Ward: Southgate
Ref: 16/04322/LBC		Category: Listed Building Consent
LOCATION: Former Minchenden School, High Street, N14 6BS,		
PROPOSAL: Subdivision of the site to provide a specialist school, involving alterations to modify and extend to Farbey Building, installation of fence south façade, alterations to mews building and open sided workshop, installation of new boundary fence around school, new external hard play area, reconfiguration of carpark and vehicular/pedestrian access from Leigh Hunt Drive.		
Applicant Name & Address: C/o Agent		Agent Name & Address: C/o Agent 65 Gresham Street London EC2V 7NQ United Kingdom
RECOMMENDATION: As such, Listed Building Consent is recommended APPROVAL , subject conditions.		

Ref: 16/04322/LBC LOCATION: Former Minchenden School, High Street, N14 6BS,



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Scale 1:2500

North



1. Site and Surrounding

- 1.1. The application site comprises a series of buildings and forms part of the curtilage of the Southgate House Site, formerly known as Minchenden School Site.
- 1.2. The Southgate House Site is fairly substantial in size and at its heart is Southgate House, which is grade II* listed. The House dates from the late 18th century and is a high status Georgian country house over two principle floors with basement and attics.
- 1.3. The Southgate House site was converted to institutional use in the early 20th century and in the 1930s, the institutional use of the site significantly expanded to have a series of buildings erected. The whole site is approximately 17600sqm, and does not benefit from any public view, enclosed by a variety of fence types and high brick walls to the north and west and residential development to the east and south. There are a significant number of mature trees, including TPO trees, within the curtilage of the site. The current vehicle and pedestrian entrance to the site is from Southgate High Street via a carriage drive.
- 1.4. The application site occupies a proportion (approximately 7000sqm) of the Southgate House Site, comprising all land to the north of the carriage drive, the stable building (Mews Building), the 1930s school building (Farbey Building) and its adjacent open sided Workshop Building, an existing car parking between the Mews Building and the Farbey Building, part of the brick boundary wall and part of the rear garden.
- 1.5. The site doesn't lie in within a conservation area, and is within walking distance to Southgate Underground and Bus Station, a number of retail units and opposite the entrance to Southgate and Barnet College.
- 1.6. High Street is a classified road (A1004). There is a right run pocket in place to reduce the risk of vehicle turning into the site obstructing traffic flow. The site has a PTAL of 4 which indicates a very good transport service.

2. Proposal

- 2.1. The Council has a statutory duty to deliver autistic provision in the Borough and due to a lack of autistic provision within Enfield, is currently providing out of Borough places to some autistic pupils, which the Council is seeking to address.
- 2.2. The council has then recently purchased the former Minchenden Site to accommodate the top end of the required secondary autistic provision.
- 2.3. The proposal will involve the subdivision of the existing curtilage of the Grade II* listed building (Southgate House) and conversion of the existing former education buildings on the site to a speciality autistic school for 120 x pupils and 100 x staff.
- 2.4. List Building Consent (Ref: 16/04322/LBC) in conjunction with planning permission (Ref: 16/04677/RE4) are sought for the following proposed works:

- a) Remodel, refurbish and extend the Farbey Building;
- b) Enclosure and convert the open sided workshop to provide school kitchen and dining facilities;
- c) Remodel and refurbish the Mews Building;
- d) Form a new vehicle and pedestrian entrance from the public car park on Leigh Hunt Drive to an on-site staff car park and pupil drop off;
- e) Form new external hard play areas to the rear (east) of the Farbey Building; and
- f) Provide a secure boundary fence around the entirety of the new school site and to provide a boundary with Southgate House.

Farbey Building

2.5. The Farbey Building will be refurbished, remodelled and extended to meet the facilities required for an autistic school. The proposed works that are subject to Listed Building Consent include:

- Construction of 2 x new two-storey extensions to the north-western corner and west side of the building, to provide a new staircase for means of escape and a lift to facilitate wheelchair access to the upper levels; The height will match the existing eaves level;
- Removal of the existing external metal escape stair;
- Replacement of existing metal framed windows within painted timber sub-frames with new windows to match the existing;
- Replacement of existing doors with new PPC metal framed double glazed doors in modified existing opening;
- Replacement of existing pitched roof slats and coverings;
- Demolition of the existing single storey pitched roof link between Farbey Building and Southgate House and the resulting openings will be blocked up with facing brickwork to match existing;
- Blocking up 2 x existing ground floor openings with facing brickwork to match existing;
- Installation of 4 x new stepped access to the flank elevation;
- Modifications of existing layout involving new partition walls and installation of new shower / change rooms; and
- Subdivision of existing main hall / gymnasium.

Workshop Building

2.6. The single-storey open sided workshop will be remodelled to provide kitchen / dining facilities. The proposed works would involve the enclosure of the open sided building via insertion of 3 x windows and 1 x door on south elevation and 3 x windows and 1 x door on north elevation and 1 x door on west elevation. The proposed new brickwork will match existing.

Mews Building

2.7. The existing part single part two-storey Mews Building will be reconfigured and refurbished to provide a 6th Form common room, as well as overnight stay/life skills teaching accommodation to help prepare pupils for living on their own. The proposal would also replace the existing timber sash windows and timber doors to match existing, insert a new door on the ground floor and clean and repoint the existing brickwork.

Car Park and Access

- 2.8. The existing pedestrian access via High Street would remain. The existing car parking of the site that is located between Mews Building and Farby Building would remain as parking space for pupil drop off and 40 x staff parking.
- 2.9. A new pedestrian/vehicular access will be provided via a public car park off Leigh Hunt Drive. The existing opening in the section of the boundary wall will be used for pedestrian access and the new opening required for vehicular access and egress sliding gate will be made through a section of clearly re-built wall.
- 2.10. The proposal would also involve erecting a new pedestrian ramped access leading to Workshop Building and rear of Farbey Building and a new ramped access leading to front of Farbey Building and Mews Building.

External Play Area

- 2.11. Located to the rear of Farbey Building, the proposed play area will comprise a mixture of tarmacadam / block paving / artificial grass, with play equipment including play water feature, swings, climbing area etc

Secure Fence

- 2.12. A perimeter fence ranging at different heights around the perimeter of the school site will be introduced for pupil safety.

3. Consultations

Neighbours:

- 3.1. The application was referred to 41x surrounding properties. 1 x support and 2 x objections were received.
- 3.2. The support received states:
 - *The Lime Trust are supportive of a satellite SEN school at this location, bringing much-needed specialist SEN places to the borough. As a Trust, we have submitted an application to the Department for Education to open a new 3 FE primary school in this area of the borough, and hope that the Trust and EFA can work with the Local Authority to co-locate our primary school with this proposed SEN provision which would have significant benefits to pupils of both schools and the wider community in Southgate.*
- 3.3. The objections concerned:
 - Objection1: the proposal's site justification statement 4.1.3 says "An assessment of alternative sites (other than Minchenden) within the borough has concluded that there are no sites capable of meeting the needs of the school due to constraints arising from site size/configuration, availability, accessibility, and/or planning policy" but the more recent and high level Report to Cabinet 19 October 2016, Item 16, says: "two sites had been tested thoroughly against suitability and viability against the Minchenden Site, one in the east of the Borough and one in the west. Both of these sites were suitable for the development of an autistic

provision" The planning application is clearly unacceptable; officers are misleading us in this application. Other sites are available and suitable.

- Objection 2: The acknowledged overwhelming local need for additional primary school places is not addressed by this proposal; instead this proposal takes the best available local site for extra primary provision and uses it for something else. Additional primary places were first promised more than 20 years ago when Minchenden was closed and land sold for housing. The need is identified now [Report to Cabinet 16 November 2016, Item 8] as the highest priority need in Enfield for primary pupils: "Deliver three additional permanent forms of primary entry (FE) in the South West from September 2017 to September 2020". London Plan Policy 3.18 [Planning Statement 5.4] is therefore not met by this proposal. Enfield's Core Strategy [Planning Statement 5.5] is also not met by this proposal. The planning proposal fails at a policy level as well as failing to meet Council priorities such of Fairness for All, Growth and Sustainability, and Strong Communities.

- 3.4. Response to Objection One: The Cabinet report identified two alternative sites which were consider the first is not in the ownership of the council and the current owner has confirmed that they were not interest in releasing the site to the council for development purposes. The second site is a green belt site and would have been difficult to get a successful planning application to allow the development of a school. Based on the fact that the site was green belt it would have not been possible to provide the additional places within the prescribed timescale. In addition it should be noted that the site has also been chosen to develop a stronger partnership with Barnet and Southgate College which has specialist facilities on the Southgate site for young adults with autism. The council believes that this partnership will deliver an autistic specialism hub which can only benefit the pupils attending this new facility
- 3.5. Response to Objection Two: While this is a broader planning consideration (and we have provided information to demonstrate the proposal does not prejudice the delivery of additional primary school places to meet predicted demand within the local catchment area), the issue is a different matter to this application.

Internal:

- 3.6. Conservation Officer: Placed no objections and recommended a set of conditions of which details are stated on Section 7 of the Report.
- 3.7. Transport Team: No objection; details are provided on the case officer's report under 16/04677/RE4.
- 3.8. Environmental Protection Team: No objection as there is unlikely to be a negative environmental impact. In particular there are no concerns regarding air quality or contaminated land.
- 3.9. Tree Officer: No objection to these proposals; details are provided under the application 16/04677/RE4.
- 3.10. SuDs Officer: The drainage approach is generally satisfactory for the playground area.

External:

- 3.11. Historic England: Placed no objection to the proposal, stating:

Whilst Historic England has no objection to the principle of converting the Farbey Building and the Stable Block to a new school, we would urge the Council to bring forward proposals for the repair and reuse of the Grade II Southgate House, which also forms part of this site. Southgate House is currently in a poor and deteriorating condition and has recently been added to our Heritage At Risk Register.*

We would also recommend that the Council places conditions on any grant of planning permission requiring that further details are submitted of the proposed boundary treatments between the school and the grounds of Southgate House.

- 3.12. Conservation Advisory Group (CAG): CAG welcomed the proposals noting there has been Historic England involvement. The site is currently unoccupied. It was stressed that the proposal to subdivide the main hall will be done sympathetically with all works being reversible. Access arrangements are arranged to minimise the impact on the listed wall. Further benefits include the refurbishment of the Mews Building. CAG noted that the enclosure of the open sided workshop had no material impact on the historical elements of the site. The Officer also stated that emergency works have/are being undertaken, by Enfield, to secure the adjacent Southgate House. Discussions are taking place with an educational establishment that would occupy Southgate House (currently in poor condition). Because there is synergy between the two users of Farbey Building and Southgate House it is important to progress this application as quickly as possible. CAG gave their unanimous support to the application.
- 3.13. Southgate District Civic Trust: Placed no objection to the proposed as it was not in our opinion likely to cause any problem to the listed houses on the High Street, or Southgate House.

4. Relevant Planning History

- 4.1. LBC/10/0092: Listed building consent application for removal of parts of front boundary wall and rebuilt, remove and reset coping to top of wall was withdrawn.
- 4.2. LBC/02/0019: Listed Building Consent application for internal and external alterations including treatment of damp/dry rot, demolition of part of south retaining wall and steps, and installation of new step and chair lift was withdrawn.
- 4.3. LBC/91/0007: Listed building consent was granted for refurbishment of existing building in connection with its use for office purposes involving the demolition of existing single storey side extension and external staircase together with the erection of a 2-storey extension to the south to provide additional office.
- 4.4. AD/92/0071: Advertisement consent was granted for installation of a free standing, non-illuminated sign board.

- 4.5. LBC/89/0002: Listed building consent was granted for alterations to the mansion house Minchenden Complex part of fire precaution works.
- 4.6. LBC/88/0008: Listed building consent was granted for alteration repairs and restoration of the listed building.

5. Relevant Policies

- 5.1. Core Strategy
CP30: Maintaining and improving the quality of the built and open environment
- 5.2. Development Management Document (adopted in November 2014)
DMD37: Achieving High Quality and Design-Led Development
DMD38: Design Process
DMD44: Preserving and enhancing heritage assets
- 5.3. London Plan Consolidated with Alterations since 2011 (2015)
Policy 7.4: Local character
Policy 7.6: Architecture
Policy 7.8: Heritage assets and archaeology
- 5.4. Other Relevant Policy Considerations
Enfield Characterisation Study
Planning (Listed Buildings and Conservation Areas) Act 1990
National Planning Policy Framework

6. Main Issues to be Considered

- 6.1. The application site occupies a proportion of the curtilage of a Grade II* listed building, Southgate House. As such any building works, internally and externally, will require listed building consent under the planning regulations.

Policy Context

- 6.2. Sections 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 states: 'In considering whether to grant listed building consent for any works the local planning authority or the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historical interest which it possesses.'
- 6.3. The National Planning Policy Framework (NPPF) provides guidance with local planning authorities on how to safeguard this special interest. Paragraph 132 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. As heritage assets are irreplaceable, any harm should require clear and convincing justification.
- 6.4. Paragraphs 134 states that 'Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing optimum viable use.
- 6.5. The NPPF also requires local planning authorities to 'identify and assess the particular significance of any heritage asset that may be affected by a

proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this assessment into account when considering the impact of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset's conservation and any aspect of the proposal'.

Main Issues to be considered

- 6.6. The proposal would involve external and internal alterations and refurbishments to a number of existing buildings set within the curtilage of a listed building and subdivision of the listed curtilage. As such, the main issues to be considered in respect of this LBC application are:
- Identify the significance of the heritage assets affected by the proposal;
 - Assess whether the harm to the identified significance is substantial; and
 - Assess whether the proposed subdivision would adversely affect the setting of the remaining site associated with Southgate House.

7. Analysis

Heritage Significance

- 7.1. The assessments on the heritage significance of each building within the Southgate House Site are provided as following.

Southgate House

- 7.2. The heritage significance of the Southgate House Site lies in Southgate House, which is accessed from the High Street via a carriage drive. The house dates from the late 18th century and is a high status Georgian country house over two principle floors with basements and attics. The house is grade II* listed and is therefore of high heritage significance, retaining many features of interest, including much of original external architectural composition, many of the principle ground floor interiors and the main oval shaped circulation lobby with cantilevered stone staircase.
- 7.3. The house appears to have been converted to institutional use in the early 20th century and has a large single storey extension on the southern side and various extensions on the north side. Also within the grounds of the house are significant curtilage structures associated with the estate. These include a high brick boundary wall, which is evident on the west and north sides of the site, and the former stable building, which fronts onto the High Street and presents a well- mannered Classical façade to the eastern elevation with pediment, pilasters and arched windows.

Farbey Building

- 7.4. The building was erected in the 1930s as a result of the expansion of the institutional use of the site and is a good example of the mannerist modern style. Whilst being of lesser heritage significance than the Georgian house, the school building is considered to be listed by virtue of attachment to the Georgian house and the architectural composition of this building is of some merit, particularly the southern elevation, main hall and circulation spaces.

- 7.5. The Farbey Building sits to the left and at a right angle to the main elevation of Southgate House, partially screened by a belt of planting that follows the curve of the drive that sweeps in front of the main house. To the south, its elevation is broadly in line with the rear elevation of Southgate House with only a few single storey buildings being proud of this line – enabling the setting of the main house to be appreciated.

Mew Building

- 7.6. There is little historic fabric remains internally. Externally the Mew Building displays classical proportions and architectural details including the segmental arched windows at first floor and the central pediment. The building was converted to educational use when the building first became a school and suffered a number of alterations including the blocking of entrances and the insertion of an external staircase to the upper floor.

Open sided Workshop Building

- 7.7. The existing structure is not of any particular heritage merit.

Landscape

- 7.8. In terms of the grounds around the Southgate House, there is no remaining formal garden design that is evident today, other than the presence of the carriage driveway. The grounds have also been severely depleted in the 20th century due to the erection of the 1930s school buildings on the site, the creation of extensive car parking areas and the sale of land beyond for housing development. The remaining open grounds are therefore critical to defining the immediate setting of this house as a former country home of high status.

Summary

- 7.9. The most important part of Southgate House Site is the original Southgate House in its landscape. This is a historically significant remnant of how Southgate developed and of a high quality neo-classical gentleman's villa. Whilst the house has been extended and altered, much of the significance of the house remains, although this has been diminished primarily by the changes necessary for educational use.
- 7.10. The transformation of the site to educational use in the 1920s and 30s and the development of surrounding Southgate fundamentally changed the historical setting of the villa and its use. Whilst this is of historical interest, architecturally it led to the loss of the majority of its landscape setting and the construction of a number of new educational buildings. These former educational buildings are of some minor interest in their own right, most relevantly, they were built in a sympathetic style, as good neighbours to the Southgate House.

Impact on Significance of Heritage Assets

a) Southgate House

- 7.11. The proposal would result in the existing physical attachment between the Farbey Building and Southgate House to be demolished. This link was built

later to connect the dairy building to the new Farbey school building. Thus, the proposed demolition would indeed bring heritage benefits by returning both Southgate House and Farbey Building to their original independent status as detached buildings.

b) Proposal to remodel, refurbish and extend the Farbey Building

- 7.12. Whilst being of lesser heritage significance than the Southgate House, the Farbey Building is considered to be listed by virtue of attachment to the Georgian house and the architectural composition of this building is of some merit, particularly the southern elevation, main hall and circulation spaces.
- 7.13. The proposed new extensions are located on the north elevation of the building, leading to limited impact on the setting of Southgate House by way of its location. Given its scale and massing the extensions are considered modest and will use materials and form that is sympathetic to the existing school building. The impact to the significance of Farbey Building is considered minor.
- 7.14. The proposed like-for-like replacement of existing windows and refurbishment of roof coverings will positively enhance the building and its relationship with this historic building.
- 7.15. Works to raise the flat roof above the stage area by approximately 600mm will take place behind the existing southern parapet, and therefore has no impact on the setting of the listed building or the architectural integrity of the Farbey Building.
- 7.16. The proposed internal works to subdivide the main hall of the Farbey Building were originally concerned during the pre-application stage. The Farbey Building is of significance in its own right, with its main hall making a crucial contribution to its significance. The proposed architectural intervention to the main hall could potentially impact upon the significance of the building.
- 7.17. In order to retain the sense of scale and height of the main hall, it is proposed that the subdivision will be located to one end only of the hall, allowing the southern end of the hall to retain its original volume. Whilst the stage area will be removed, the proscenium arch will be retained and 'back-filled' to ensure that its silhouette remains a feature within the hall. The submitted drawings also demonstrate that the intervention to the hall have been designed to be fully reversible.
- 7.18. Given the Heritage Statement supplied and drawings submitted, the proposed alterations to the main hall is considered to have taken a nuanced approach that is sensitive to the original design intention and where possible and preserved some semblance of the original double height space, which is on balance acceptable.

c) Proposal to remodel and refurbish the Mews Building

- 7.19. The works proposed to the Mews/Stable block will involve its refurbishment and the re-configuration of the ground floor. Externally, the proposed replacement to the existing ground floor door and windows and insertion of a new door are considered an appropriately design and style, and will not unbalance or harm the significance of the building.

7.20. Internally there are no elements of historic significance remaining and thus the proposed refurbishment will positively enhance and restore a historic element of the Southgate House estate to good condition, which is a positive heritage benefit derived from the proposals.

- d) Proposals to convert the open sided workshop to provide school kitchen and dining facilities

7.21. The open sided workshop is a less architecturally sensitive area and the existing structure is not of any particular heritage merit. As such, its loss would not be an issue.

- e) A new vehicle and pedestrian access from the public car park off Leigh Hunt Drive

7.22. The new access point is proposed to be via the existing Council car park to the north of the site. This would involve the insertion of a new opening within the boundary wall. Whilst this wall is clearly associated with the Grade II* Listed Southgate House, sections of the wall appear to have been rebuilt. Therefore, whilst the proposals would involve alteration to the curtilage listed wall, the impact is not considered to substantially harm the fabric of the listed boundary wall.

7.23. In light with the above assessment, it is then concluded that from a heritage perspective the Farbey Building is listed by virtue of being a curtilage structure to Southgate House, its importance therefore relates primarily to its role in the setting of the historic house. The proposed alterations are not considered, therefore, to affect this relationship.

Impact on the setting of the remaining site associated with Southgate House

7.24. The proposal would involve the subdivision of the curtilage of the Grade II* listed building, involving the erection of a secure boundary fence around the entirety of the new school site and a boundary with Southgate House.

7.25. Historical England (HE) raised no objection to the proposed use of the C20 curtilage listed buildings for educational purpose, but pointed out that such an annexing of part of the site may raise issues in respect to the viability and setting of the Southgate House and may impact on historic curtilage structures associated with the Southgate House. The following comments were provided by HE during the pre-application stage:

- There should be clear and enforceable assurances regarding the land and buildings that will form part of any future marketing exercise for Southgate House. The curtilage land associated with the house needs to be extensive enough to ensure that it is a viable option in its own right for a variety of possible uses. As such, it is strongly advised that there should be no further annexation of the land; and
- The demarcation of the land associated with the school needs to be fully considered and detailed, including boundary treatments. These should not restrict views through to the southern façade of the school building and should not intrude upon key views looking towards the House when

approaching from the carriage drive. Any subdivision of the rear garden needs to ensure that the house has sufficient land to ensure that its setting is not negatively impacted and that any boundary treatment is subtle in appearance, possibly defined by planting to the house side, rather than walls or fences.

- 7.26. The entire site of the Southgate House is approximately 17,600sqm, and the application site / proposed new house is approximately 7,000sqm. The proposal would lead to the remaining site associated to the Southgate House at approximately 10,600sqm, which is considered a sufficient area for the future development of Southgate House. The Council would not seek further annexation of the site.



- 7.27. A smaller, estate railing fencing (1.2m) is proposed to follow the northern edge of the existing sweeping driveway approach to Southgate House, which will demark the boundary between the Southgate House site and the site of the new school. The proposed estate railing fencing will draw the eye towards the main façade of Southgate House complimenting the existing driveway and landscaping of the site. This design will allow views of the two buildings, between the two buildings, and ensure their existing relationship is maintained.

- 7.28. The proposed higher security fence (2.7m) will follow the existing car park behind the drive and out of site and context with the main house. To the rear, the line of the new boundary will be set back from the historic house so as to mitigate the effect when viewed from Southgate House and also enable a suitable open space to the rear of the Southgate House from the Farbey Building.

- 7.29. The proposed landscaping scheme also ensures that the impact of the fence is further reduced and 'masked' from the Southgate House side of the boundary. The scheme will not restrict views through to the southern elevation of Southgate House and will not intrude on key views looking towards the house when approaching from the carriage drive to the north.
- 7.30. It is therefore concluded that the proposed subdivision of the Southgate House site has been carefully considered by way of the proposed location and nature of the boundary that are designed to be placed in a position of least significance whilst still delivering the necessary space and requirements for the school. The subdivision would thus have a minimal effect on the setting of the listed building and the remaining site associated with Southgate House.

8. Conclusion

- 8.1. It is concluded that, subject to conditions, the proposal would offer a sympathetic and well considered scheme that has had full regard for the significance of the historic Southgate House and other heritage assets in the listed curtilage and its setting whilst enabling the provision of educational facilities of a highly valuable public benefit.

9. Recommendation

- 9.1. As such, Listed Building Consent is recommended approval, subject to the following conditions:
1. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004.
 2. The development hereby permitted shall be carried out in accordance with the approved plans including plans(s) that may have been revised, as set out in the attached schedule which forms part of this notice.

Reason: For the avoidance of doubt and in the interests of proper planning.
 3. No demolition shall take place until a written scheme of historic building investigation (WSI) has been submitted to and approved in writing by the Local Planning Authority. For buildings that are included within the WSI, no demolition or development shall take place other than in accordance with the agreed WSI, which shall include the statement of significance and research objectives, and
 - a) The programme and methodology of historic building investigation and recording and the nomination of a competent person(s) or organisation to undertake the agreed works;
 - b) The programme for post-investigation assessment and subsequent analysis, publication and dissemination and deposition of resulting material. This part of the condition shall not be discharged until

these elements have been fulfilled in accordance with the programme set out in the WSI.

The written scheme of investigation will need to be prepared and implemented by a suitably professionally accredited heritage practice in accordance with Historic England's Guidelines for Archaeological Projects in Greater London.

Reason: To identify and conserve heritage assets.

4. Prior to commencement of development, including any demolition and restoration works, a demolition method statement including plans and elevations which show the building fabric to be demolished in red and the architectural features to be removed and reinstated in green shall be submitted to and approved in writing by the Local Planning Authority. The demolition method statement shall be prepared by a specialist contractor in conjunction with a suitably qualified heritage consultant and detail the works to be carried out by hand under supervision. The demolition method statement shall also include the contract for the carrying out and completion of the development.

Reason: To safeguard the structural integrity of the Grade II* listed building; To identify, conserve, repair and where appropriate reinstate the architectural features of the Grade II* listed building; To ensure a satisfactory external appearance.

5. Prior to commencement of development, including any demolition and restoration works, a restoration method statement including a schedule for the conservation, repair and replacement of all internal and external architectural features shall be submitted to and approved in writing by the Local Planning Authority. The restoration method statement and schedule shall be prepared by a suitably qualified heritage consultant. All existing historic fabric including bricks, slates, windows, doors, lintels, cills, rainwater goods etc. shall be salvaged where possible and reused. The restoration method statement and schedule shall include details for the storage of architectural features to be removed and reused to protect against accidental loss or damage during the building work. The development shall be carried out in accordance with the restoration method statement and schedule.

Reason: To identify, conserve, repair and where appropriate reinstate the architectural features of the Grade II* listed building and ensure satisfactory external appearance.

6. Prior to commencement of development, including any demolition and restoration works, details and samples of the external finishing materials to be used must be submitted to and approved in writing by the Local Planning Authority. The external finishing materials include, but are not limited to, doors, windows, roofs, gutters, downpipes, brick type, face bond, pointing, render, paintwork, replacement architectural features and hardstanding. The development shall be constructed in accordance with the approved details.

Reason: To ensure satisfactory external appearance of the Grade II* listed building.

7. Prior to commencement of development, including any demolition and restoration works, detailed drawings including sections at a 1:20 scale or larger shall be submitted to and approved in writing by the Local Planning Authority. The detailed drawings including sections shall include any new or replacement architectural features including:
- Proposed new doors/ windows/ alterations to the Farbey Building and Mews building (at a scale of 1:20 with 1:5 sections); Doors including jambs, frame, door case, door furniture and windows including cills, reveals, heads, window furniture;
 - Proposed alterations to the stage area of the Farbey Building (at a scale of 1:20 with 1:5 sections)
 - Proposed boundary fence (at a scale of 1:20 with 1:5 sections)
 - New external hard play area materials samples/ detail drawings at a scale of 1:20 with 1:5 sections
 - New access from Leigh Hunt Drive at a scale of 1:20 with 1:5 sections/ materials samples
 - Details of all new fenestration to Farbey Building/ Southgate House/ Mews Building
 - Further details of the proposed internal alterations to the Farbey Building showing how new partitions/ mezzanine floors etc. will be affixed to the internal historic fabric
 - Roofs including eaves and parapet detail.

The development shall be constructed in accordance with the approved details.

Reason: To ensure satisfactory external appearance of the Grade II* listed building.

8. Prior to commencement of development, including any demolition and restoration works, details of any new external flues and vents on Workshop Building and Farbey Building, including their design, materials and siting, shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure satisfactory external appearance of the Grade II* listed building.

9. Prior to commencement of development, including any demolition and restoration works, the position, type and manner of installation of all internal and external services and fittings shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure satisfactory external appearance of the Grade II* listed building.

10. Prior to commencement of development, excluding only demolition and restoration works, details of the means of boundary treatment shall be submitted to and approved in writing by the Local Planning Authority. The site shall be enclosed in accordance with the approved details.

Reason: To ensure satisfactory appearance of the Grade II* listed building and in the interests of highway safety.

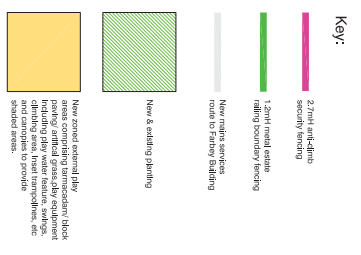
11. The restoration works shall match the original fabric in composition and consistency in respect of materials, form, detailed execution and finished appearance unless shown on the approved drawings.

Reason: To maintain the integrity of the Grade II* listed building.



GENERAL NOTES:

1. Do not scale from this plan to other drawings.
2. This drawing is to be used in conjunction with Landscape Architecture drawings.
3. This drawing is to be used in conjunction with Civils Transport drawings.



OCP
5.0 x 2.5m covered cycle parking for 12 no. bicycles.

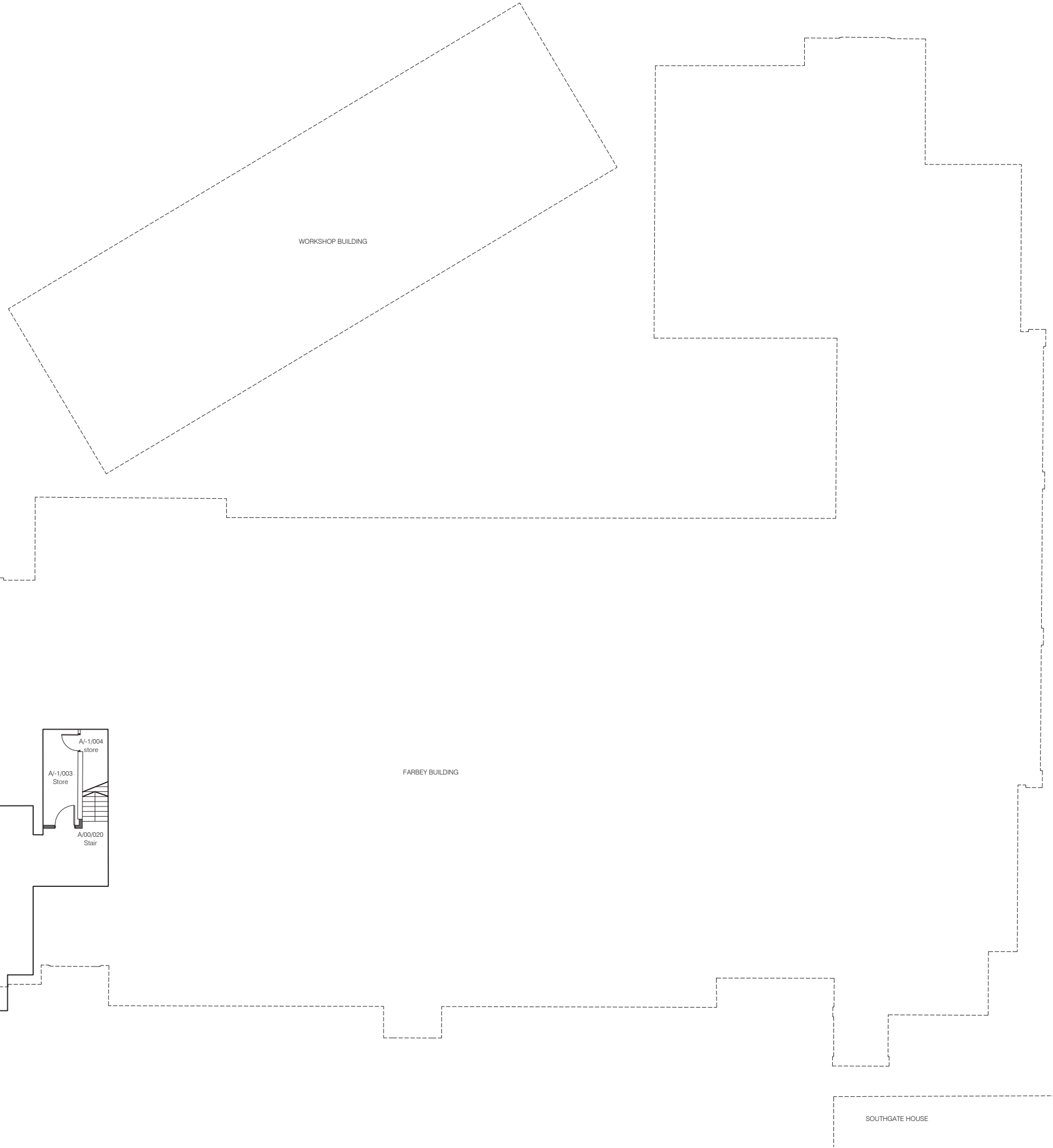
PTW
2.1 x 1.4m permeable paving for cycle paths

Rev.	Date	Description	By
B	01.17	Mechanical services to new Staff Car Park	AS
A	06.16	Revised to show ground level, cycle ramps, and new play area	AS

bhp architects
 Makehouse New River Farm Limited
 LONDON BOROUGH OF ENFIELD
 THE FARLEY BUILDING
 MINCHENDEN SCHOOL SITE
 LONDON N14 6BS

PROPOSED SITE LAYOUT

CLIENT	MR	740-12
DATE	SCALE	1:200 @ A4
NO.	REV.	04/12/16



GENERAL NOTES:

1. Do not scale from this drawing unless for planning
2. All existing steel PPC framed single glazed windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed window in new timber painted sub-frames. All to match existing
3. Replace all internal doors with new laminate faced solid core doors and painted frames

KEY:

- Existing walls/ partitions
- New cavity wall construction
- New walls/ partitions

Rev	Date	Description	Name
A	09.16	Planning Application	



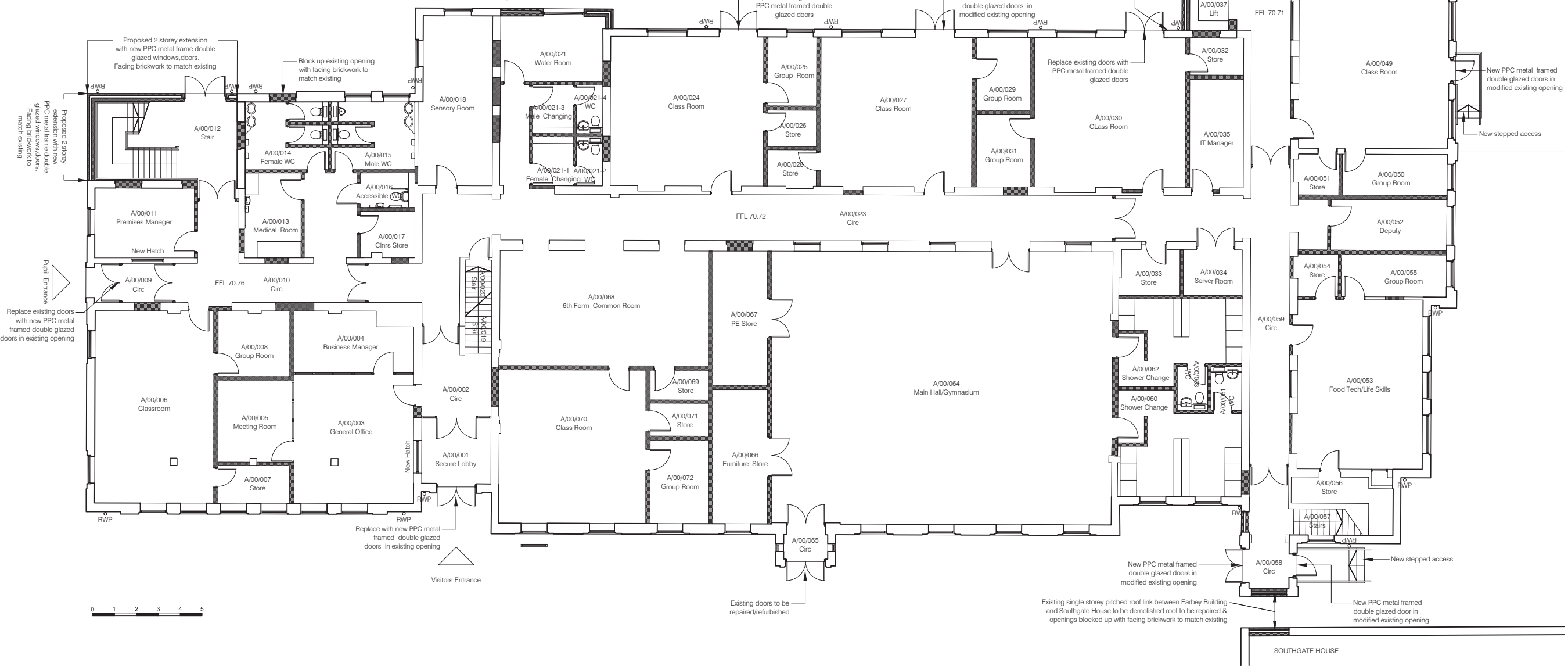
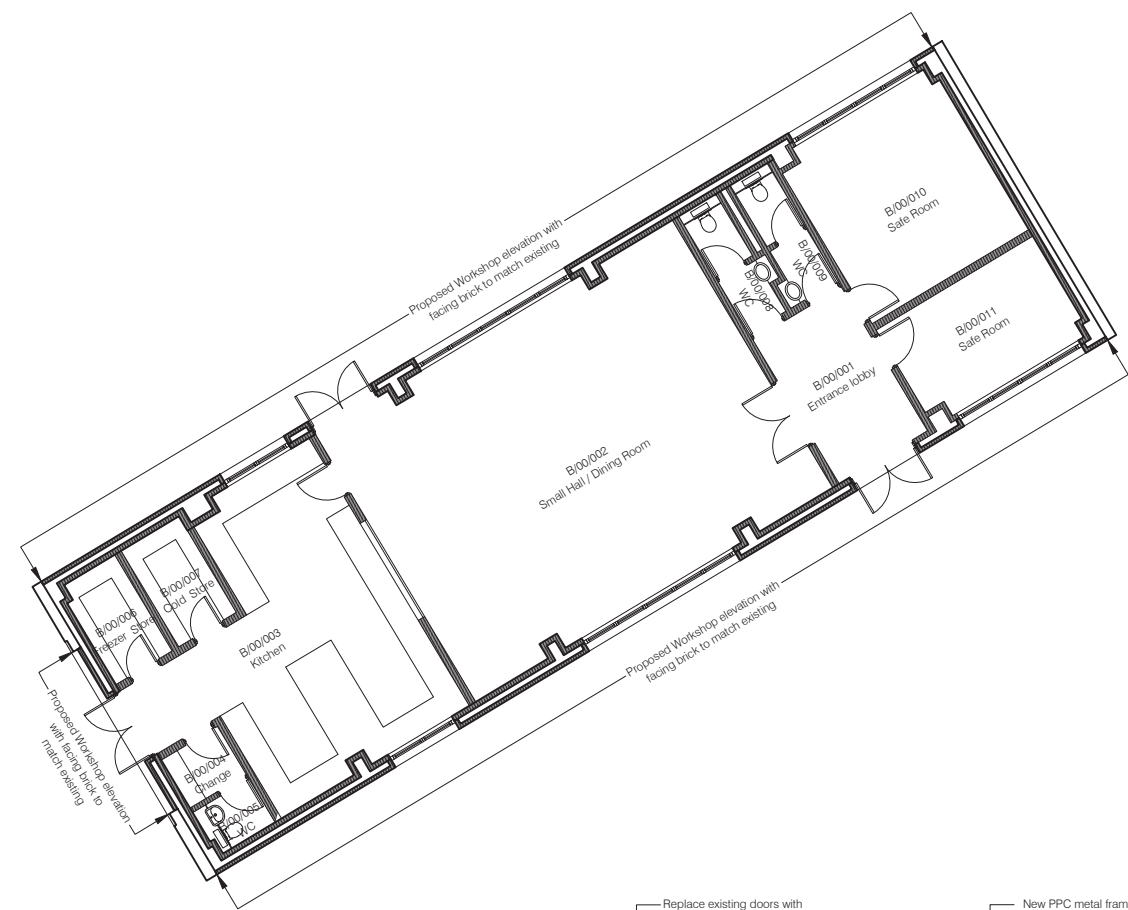
Nicholas House River Front Enfield Middlesex EN1 3TF
 t +44 (0) 208 367 8000 f +44 (0) 208 363 3606 e info@bhparchitects.com

Minchenden School Site
 High Street
 London
 N14 6BS

drawn	SG	file	LBE 740
date	June 2016	scale @ A1	1:100

Farbey Building
 Proposed Basement Floor Plan

job number	drawing number	revision
740	140	A



GENERAL NOTES:

- Do not scale from this drawing unless for planning
- All existing steel PPC framed single glazed windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed window in new timber painted sub-frames. All to match existing
- Replace all internal doors with new laminated faced solid core doors and painted frames

KEY:

- Existing walls/ partitions
- New cavity wall construction
- New walls/ partitions

Rev.	Date	Description	Name
A	09.16	Planning Application	RB

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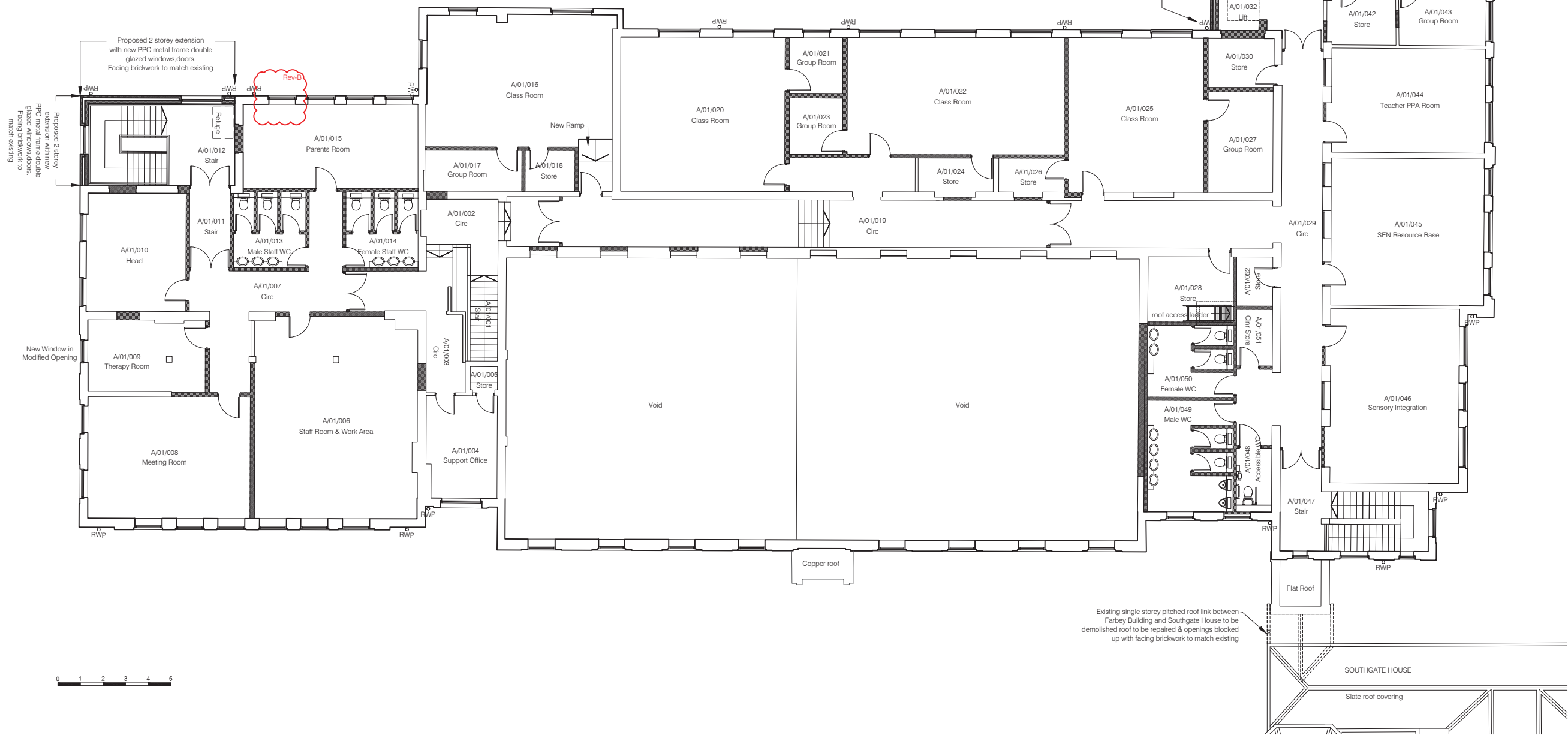
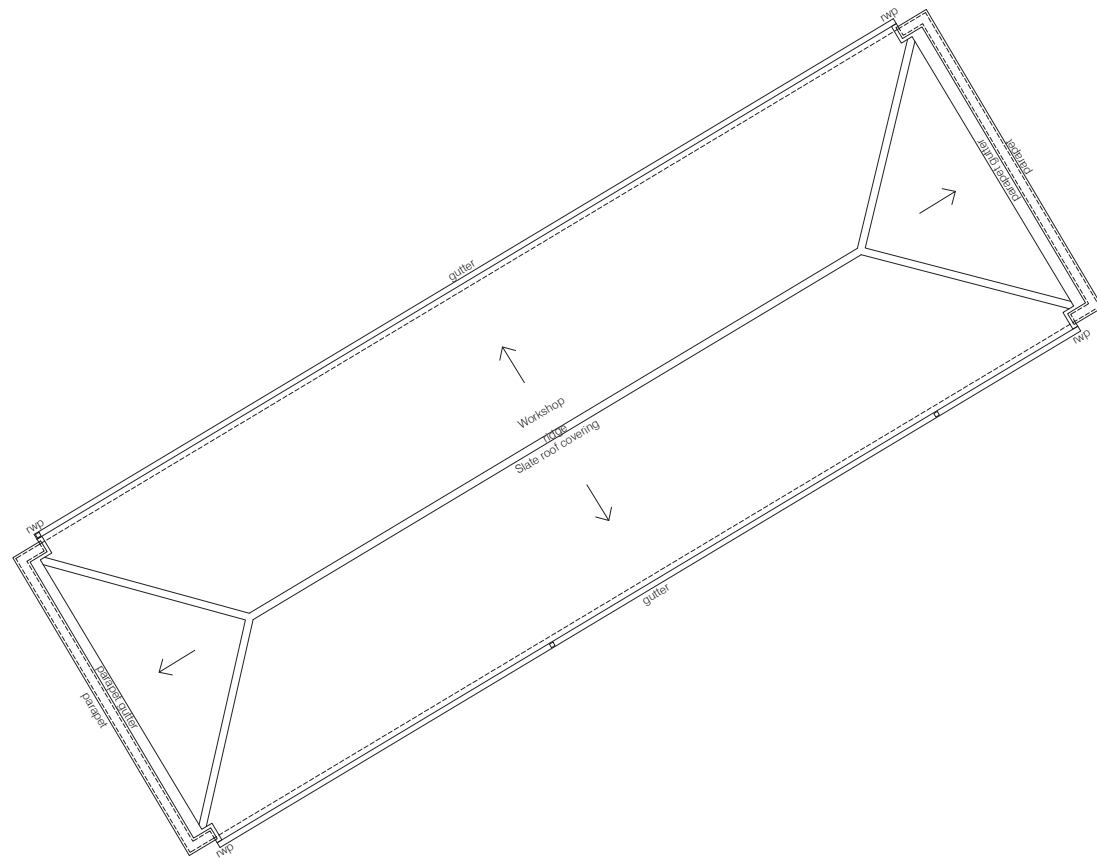
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drawn	file
SG	LBE 740
date	scale @ A1
June 2016	1:100

Farbey & Workshop Buildings
 Proposed Ground floor Plan

job number	drawing number	revision
740	141	A



- GENERAL NOTES:
1. Do not scale from this drawing unless for planning
 2. All existing steel PPC framed single glazed windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed window in new timber painted sub-frames. All to match existing
 3. Replace all internal doors with new laminate faced core doors and painted frames

- KEY:
- Existing walls/ partitions
 - New cavity wall construction
 - New walls/ partitions

Rev.	Date	Description	Name
B	10.16	Window added to plan not shown on survey dwg	RB
A	09.16	Planning Application	RB

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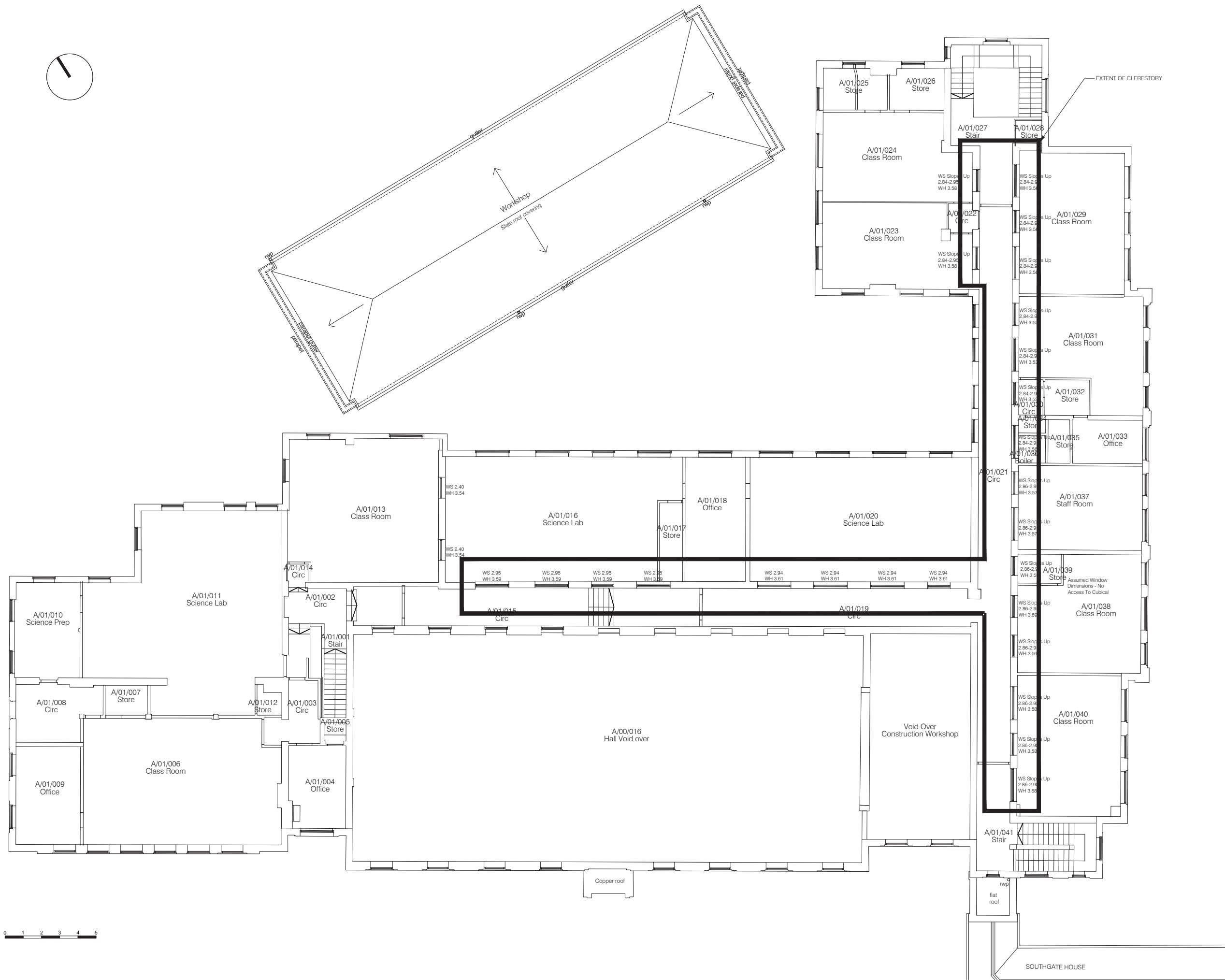
drawn	file
SG	LBE 740
date	scale @ A1
June 2016	1:100

Farbey & Workshop Buildings
 Proposed First floor Plan

job number	drawing number	revision
740	142	B

GENERAL NOTES:

1. Do not scale from this drawing unless for planning
2. All existing steel PPC framed single glazed clerestory windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed window in new timber painted sub-frames. All to match existing



Rev.	Date	Description	RB
A	09.16	Planning Application	RB

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drawn	file
SG	LBE 740
date	scale @ A1
June 2016	1:100

Farbey Building
 Proposed Clerestory Plan






job number	drawing number	revision
740	143	A

GENERAL NOTES:

- Do not scale from this drawing unless for planning

KEY

- * New roof coverings subject to separate application for Lawful Development Certificate for proposed works

-  New natural slating
-  New lead sheet coverings/flashings
-  New mastic asphalt roofing/insulation/finishes
-  New raised roof structure with new roof covering subject to Lawful development Certificate for proposed works
-  Existing roof to be repaired

Rev	Date	Description	Name
A	09.16	Planning Application	RB



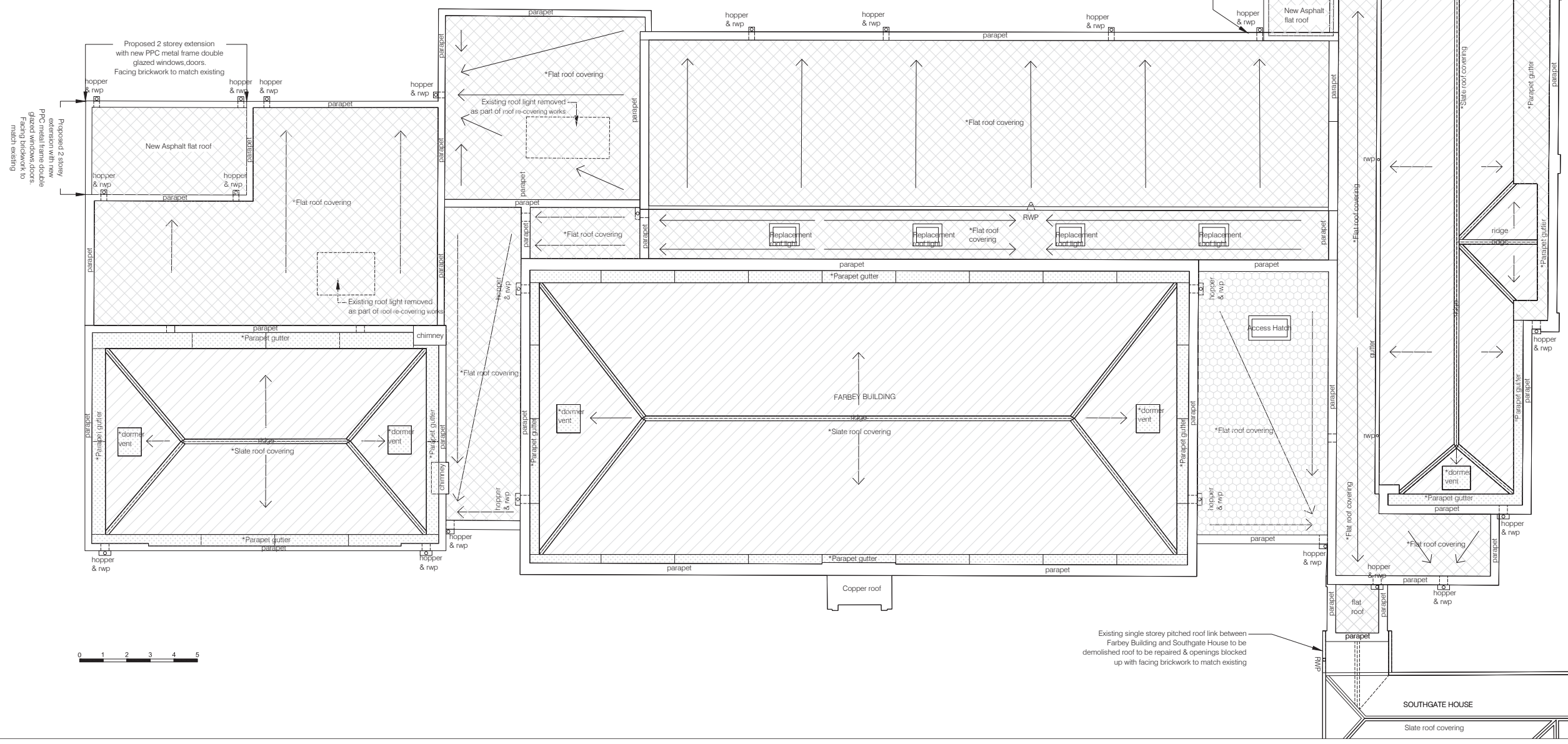
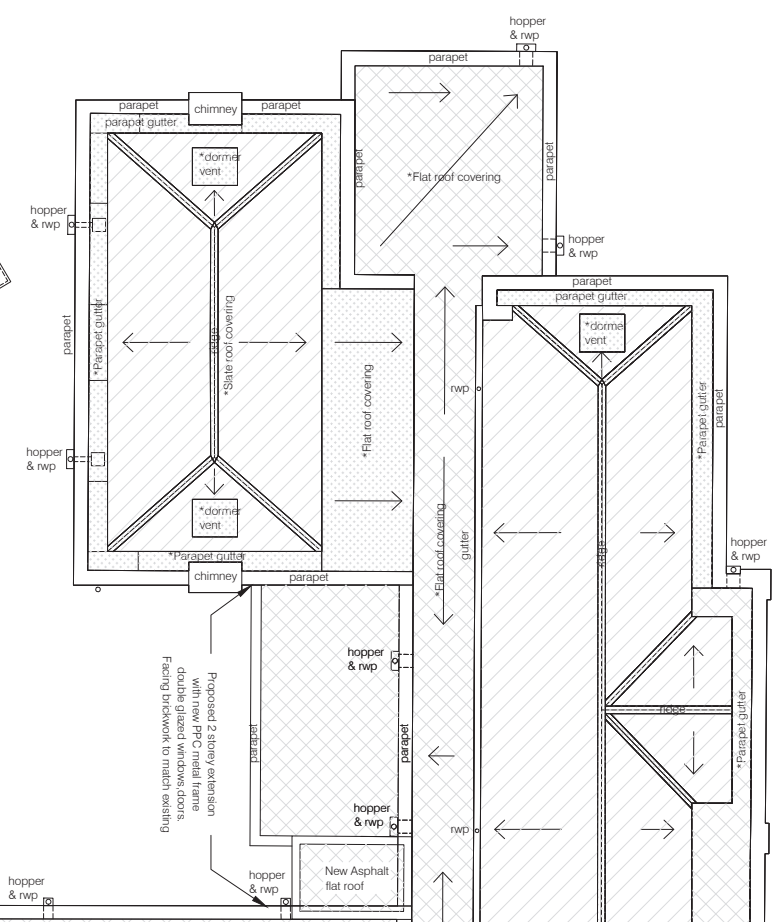
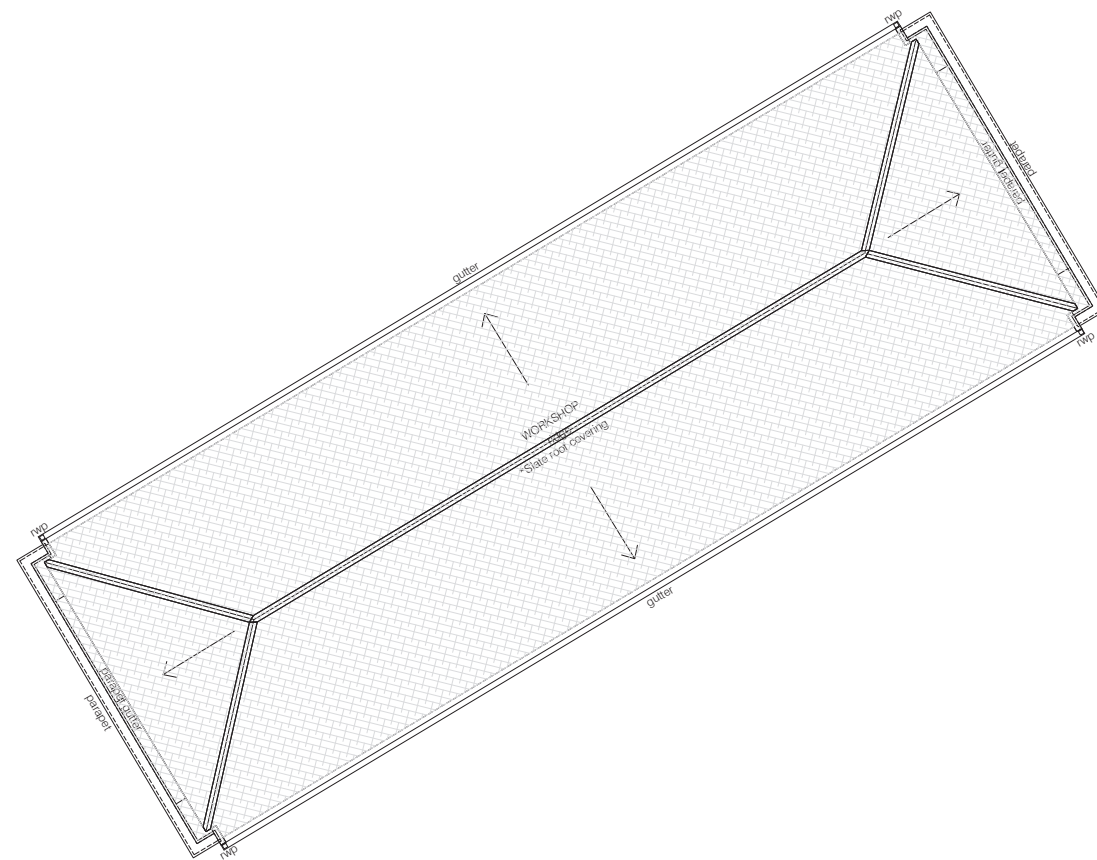
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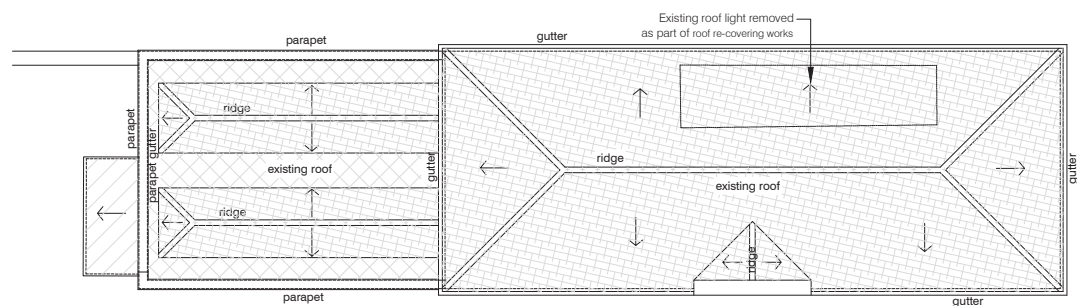
drawn	SG	file	LBE 740
date	June 2016	scale @ A1	1:100

Farbey & Workshop Buildings
 Proposed Roof Plan

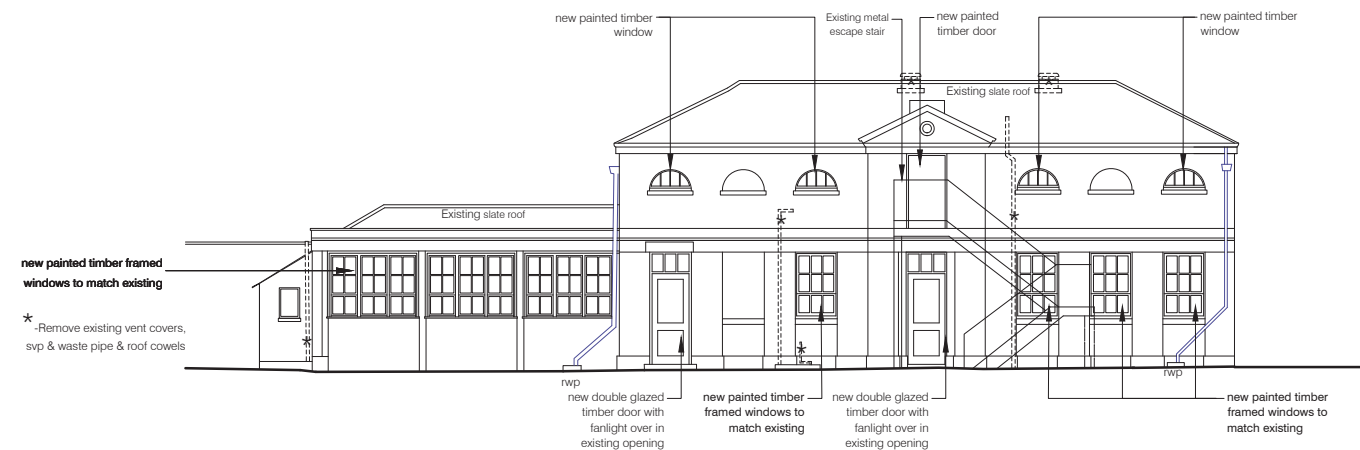
job number	drawing number	revision
740	144	A



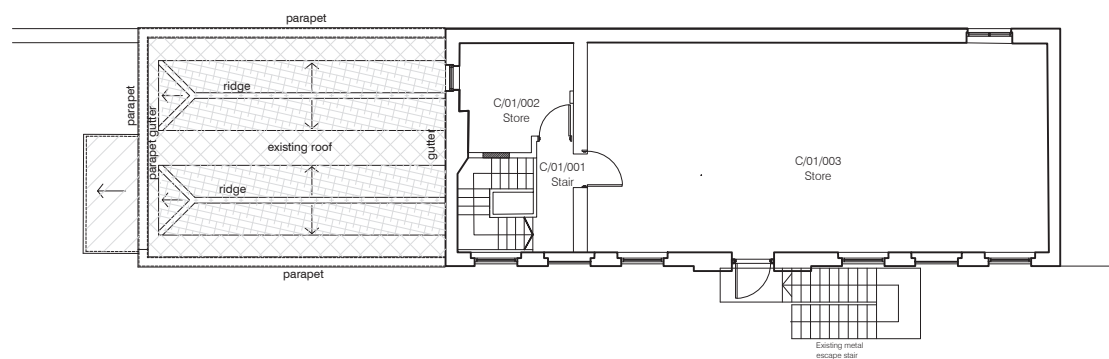
Existing single storey pitched roof link between Farbey Building and Southgate House to be demolished roof to be repaired & openings blocked up with facing brickwork to match existing



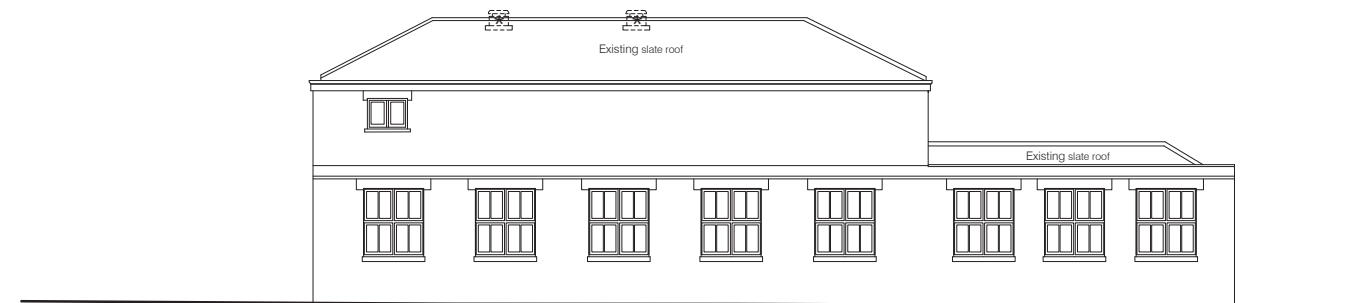
3. PROPOSED ROOF PLAN



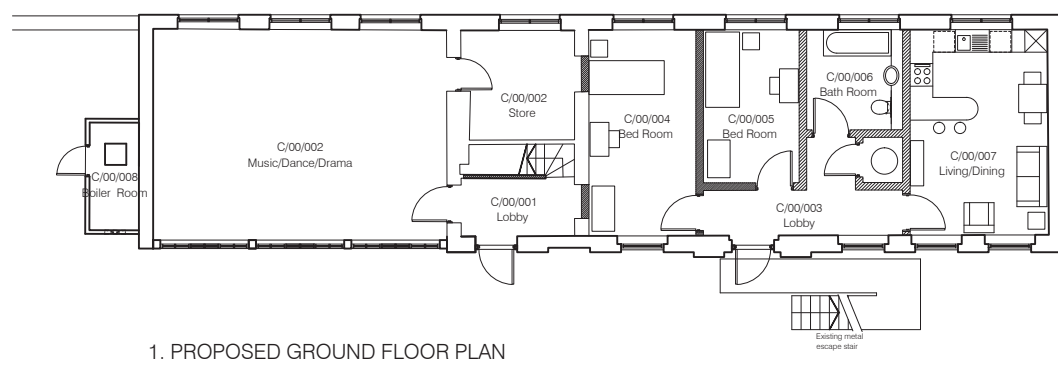
7. PROPOSED EAST ELEVATION



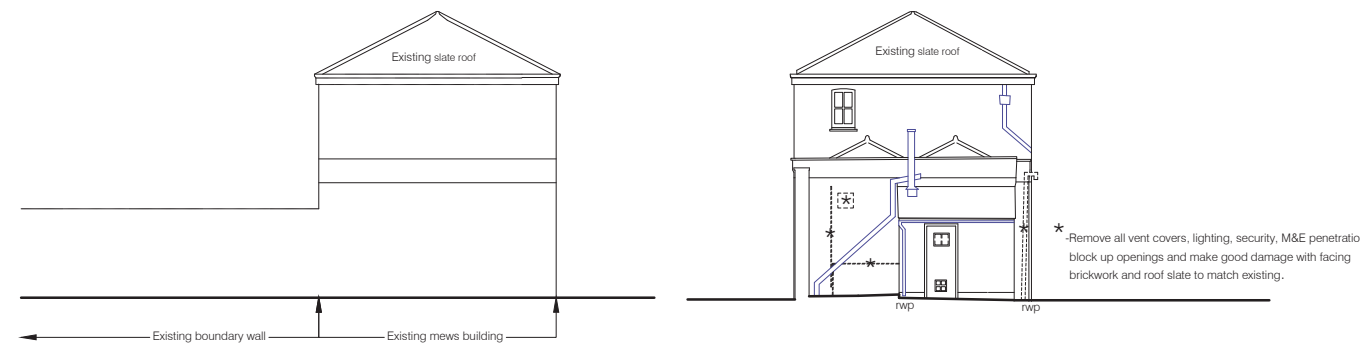
2. PROPOSED FIRST FLOOR PLAN



6. PROPOSED WEST ELEVATION



1. PROPOSED GROUND FLOOR PLAN



4. PROPOSED NORTH ELEVATION

5. PROPOSED SOUTH ELEVATION

GENERAL NOTES:

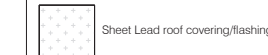
1. Do not scale from this drawing unless for planning
2. All existing single glazed windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed window in new painted sub-frames. All to match existing

KEY

* New roof coverings subject to separate application for Lawful Development Certificate for proposed works



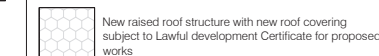
Natural slate roof covering



Sheet Lead roof covering/flashing



Asphalt roof covering



New raised roof structure with new roof covering subject to Lawful development Certificate for proposed works



Existing roof to be repaired

Existing walls/ partitions

New cavity wall construction

New walls/ partitions

Rev.	Date	Description	Name
A	09.16	Planning Application	RB

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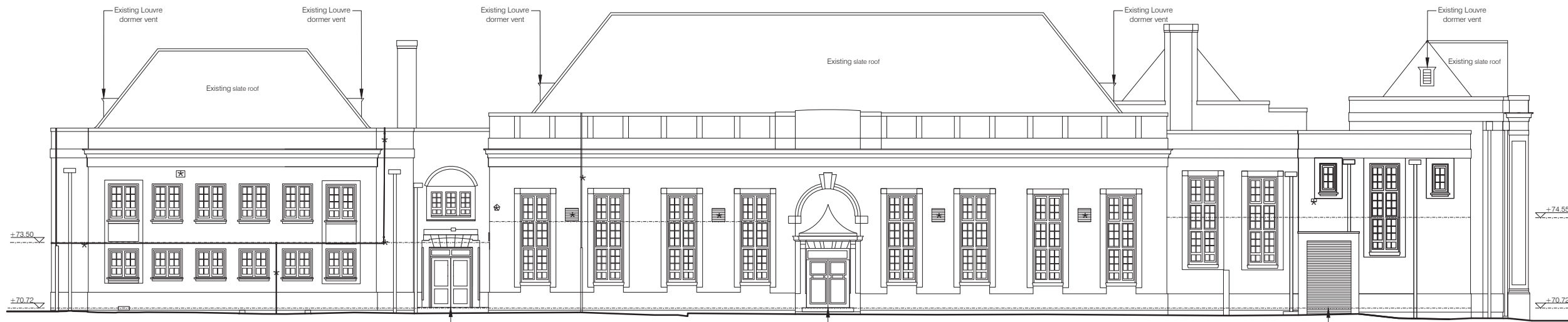
Minchenden School Site
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drawn	SG	file	LBE 740
date	June 2016	scale @ A1	1:100

Mews Building
 Proposed Floor Plans & Elevations

job number	drawing number	revision
740	145	A

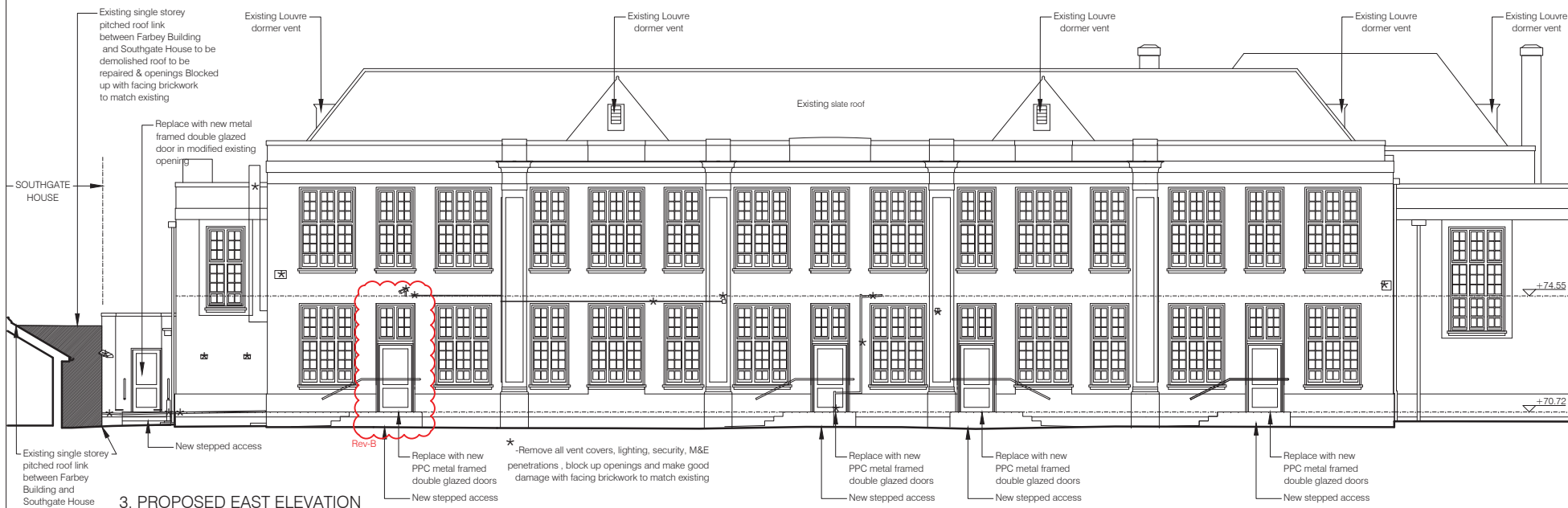




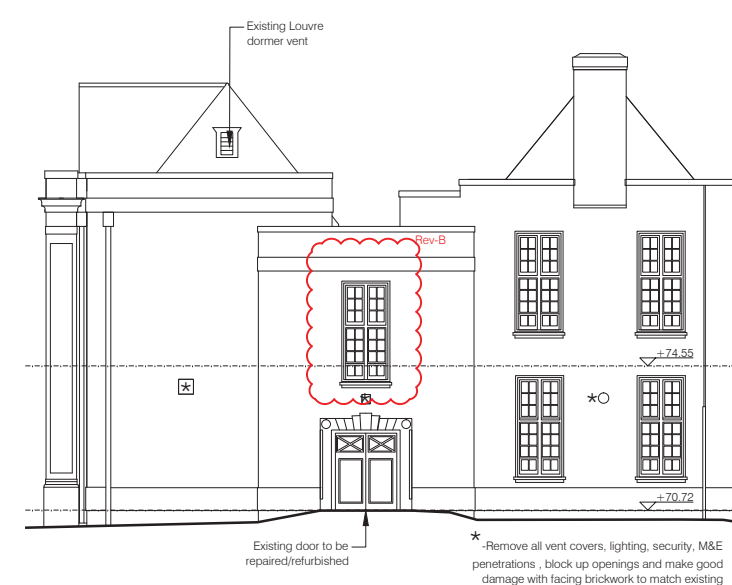
1. PROPOSED SOUTH ELEVATION



2. PROPOSED NORTH ELEVATION



3. PROPOSED EAST ELEVATION

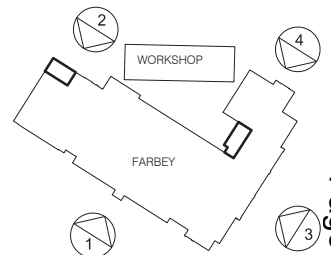


4. PROPOSED NORTH ELEVATION

GENERAL NOTES:

- Do not scale from this drawing unless for planning
- All existing steel PPC framed single glazed windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed windows in new timber painted sub-frames. All to match existing
- Replace all internal doors with new laminate faced solid core doors and painted frames

ELEVATION KEY



Rev.	Date	Description	Name
B	10.16	Door added to East elevation Window added to north elevation not shown on survey dwg	RB
A	09.16	Planning Application	RB

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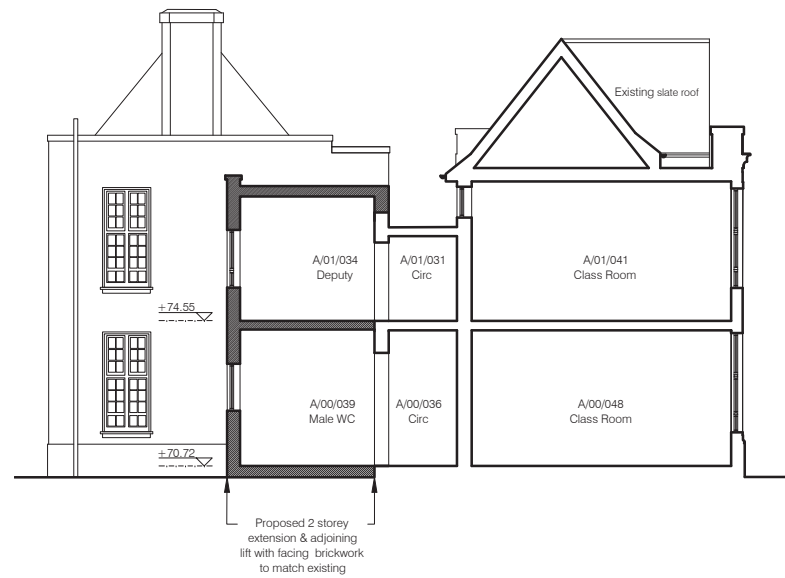
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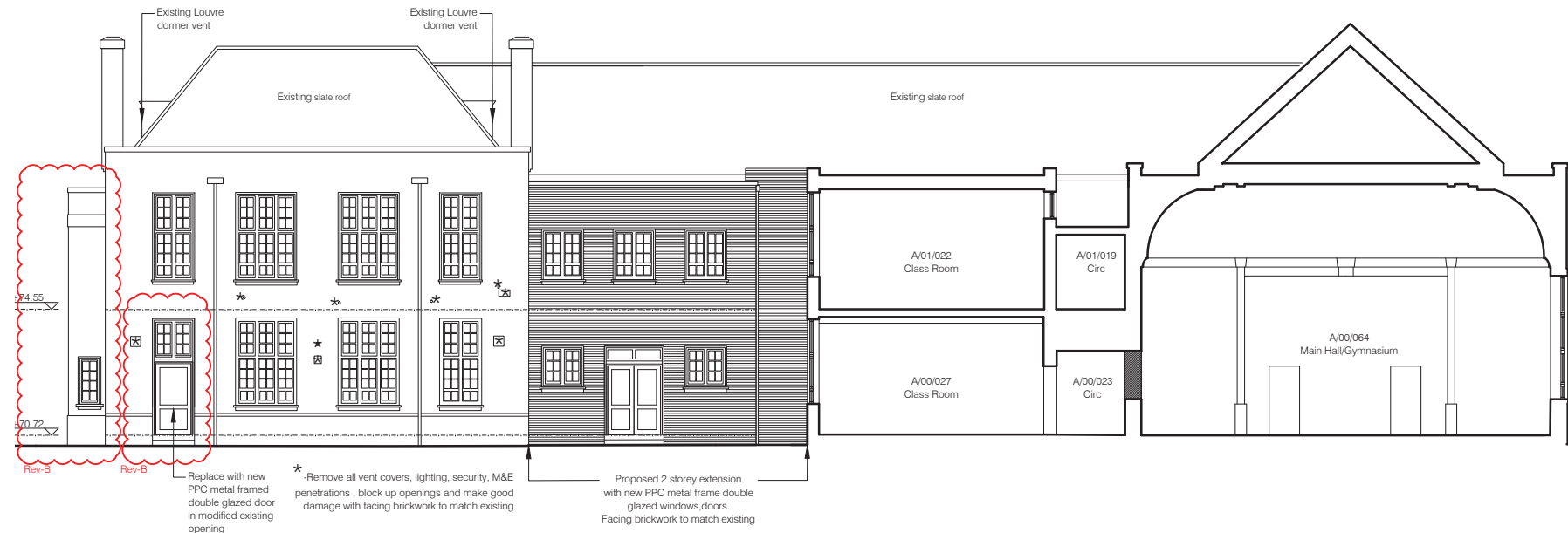
drawn	file
SG	LBE 740
date	scale @ A1
July 2016	1:100

Farbey Building
Proposed Elevations

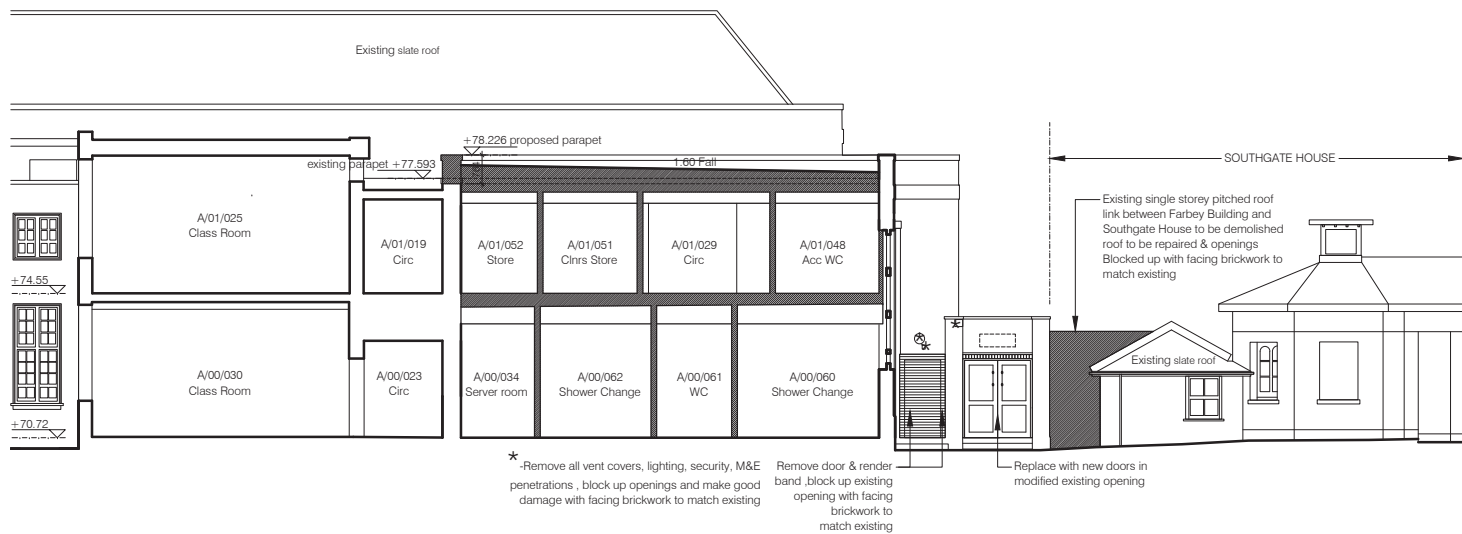
job number	drawing number	revision
740	150	B



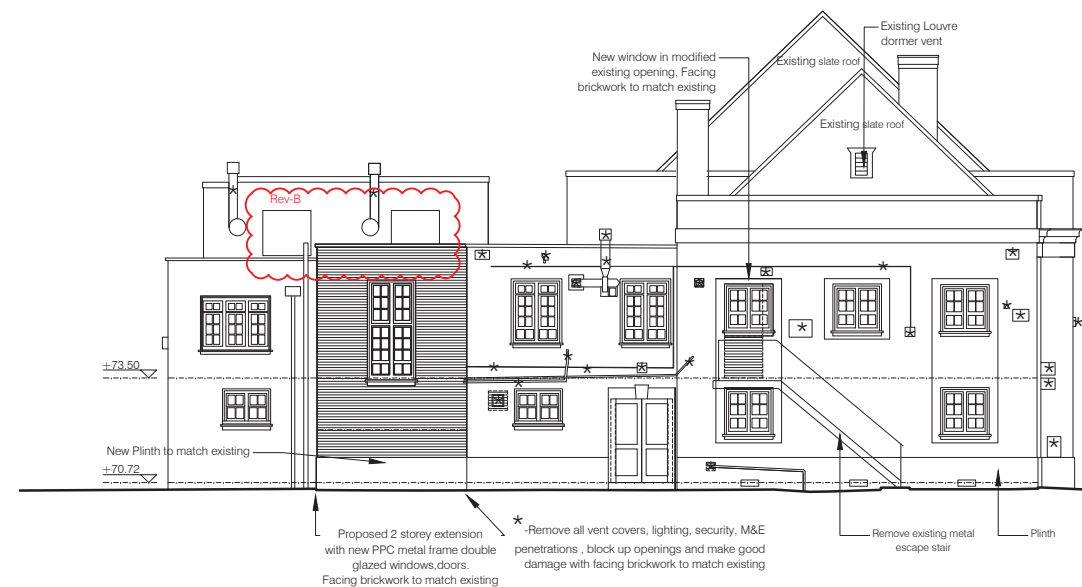
5. PROPOSED SOUTH SECTIONAL ELEVATION



6. PROPOSED WEST SECTIONAL ELEVATION



7. PROPOSED WEST SECTIONAL ELEVATION

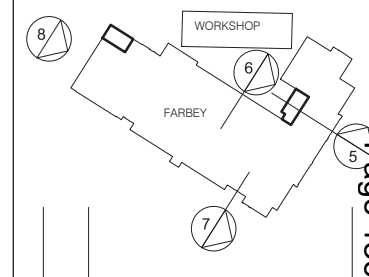


8. PROPOSED WEST ELEVATION

GENERAL NOTES:

1. Do not scale from this drawing unless for planning
2. All existing steel PPC framed single glazed windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed windows in new timber painted sub-frames. All to match existing
3. Replace all internal doors with new laminate faced solid core doors and painted frames

ELEVATION KEY



Rev.	Date	Description	Name
B	10.16	Part west elevation added not shown on survey dwg. Door added to west elevation shown on plan. Clerestory windows added to west elevation not shown on survey	RB
A	09.16	Planning Application	RB

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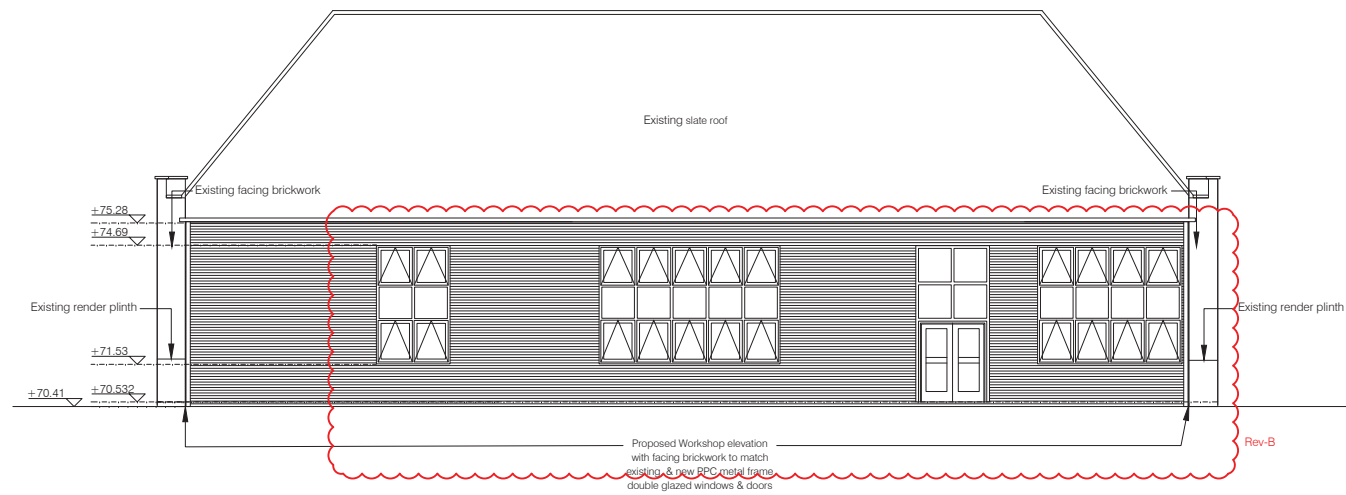
Minchenden School Site
High Street
London
N14 6BS

drawn	SG	file	LBE 740
date	July 2016	scale @ A1	1:100

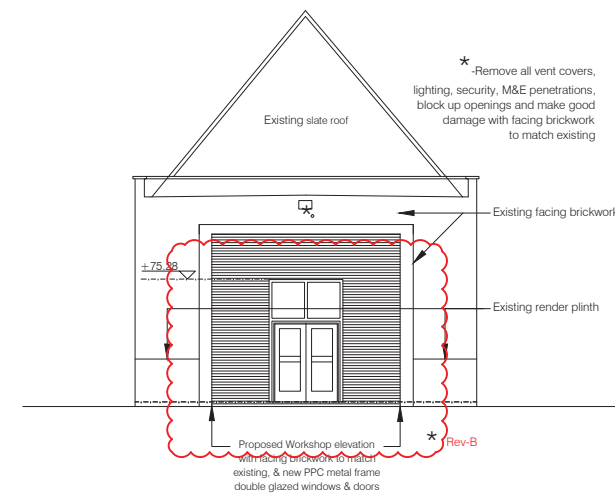
Farbey Building
Proposed Sectional Elevations

job number	drawing number	revision
740	151	B

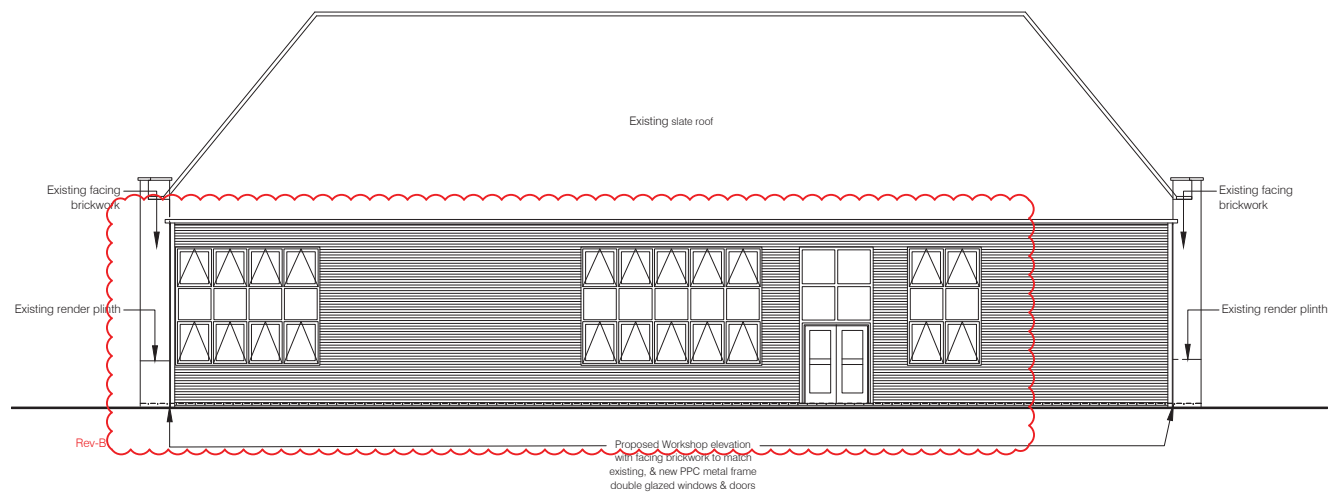




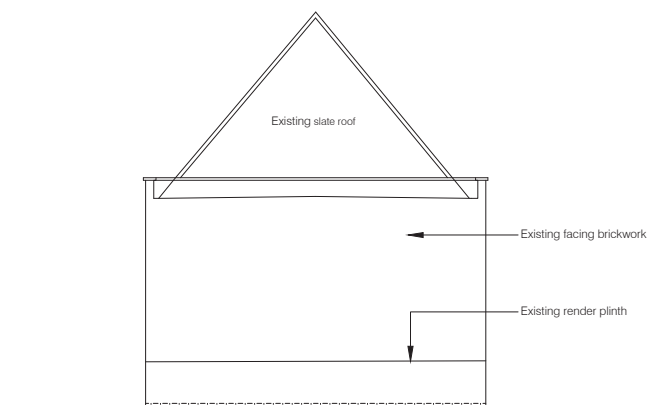
7. PROPOSED SOUTH ELEVATION



8. PROPOSED WEST ELEVATION



9. PROPOSED NORTH ELEVATION

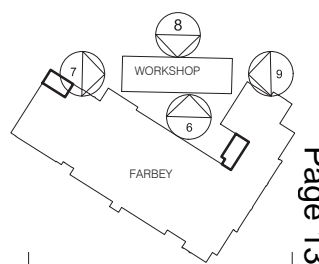


10. PROPOSED EAST ELEVATION

GENERAL NOTES:

1. Do not scale from this drawing unless for planning
2. All existing steel PPC framed single glazed windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed windows in new timber painted sub-frames. All to match existing
3. Replace all internal doors with new laminate faced solid core doors and painted frames

ELEVATION KEY



B	10.16	Elevation amended to co-ordinate with survey	RB
A	09.16	Planning Application	RB
Rev.	Date	Description	Name

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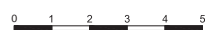
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Minchenden School Site
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drawn	SG	file	LBE 740
date	July 2016	scale @ A1	1:100

Workshop Building
 Proposed Elevations

job number	drawing number	revision
740	152	B





PROPOSED SOUTH ELEVATION 1

1. PROPOSED SOUTH ELEVATION



PROPOSED SOUTH ELEVATION 2

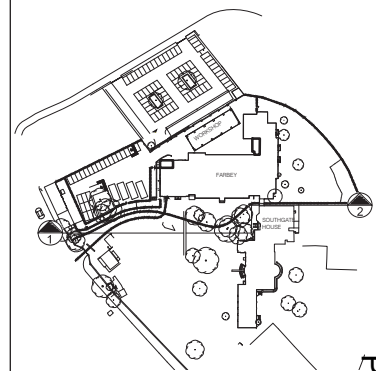
2. PROPOSED SOUTH ELEVATION



GENERAL NOTES:

1. Do not scale from this drawing unless for planning

ELEVATION KEY



Rev.	Date	Description	Name
A	09.16	Planning Application	RB



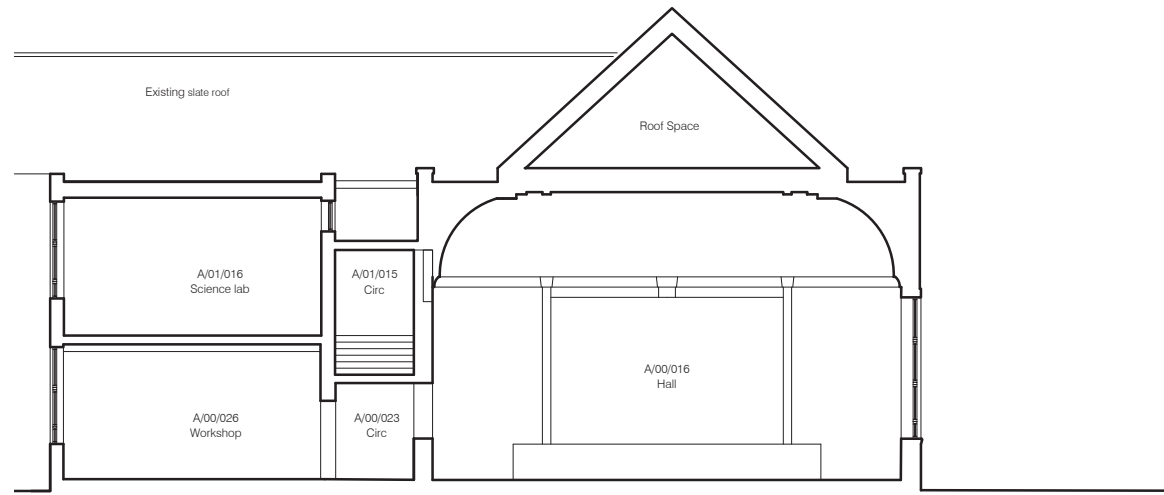
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 London
 N14 6BS

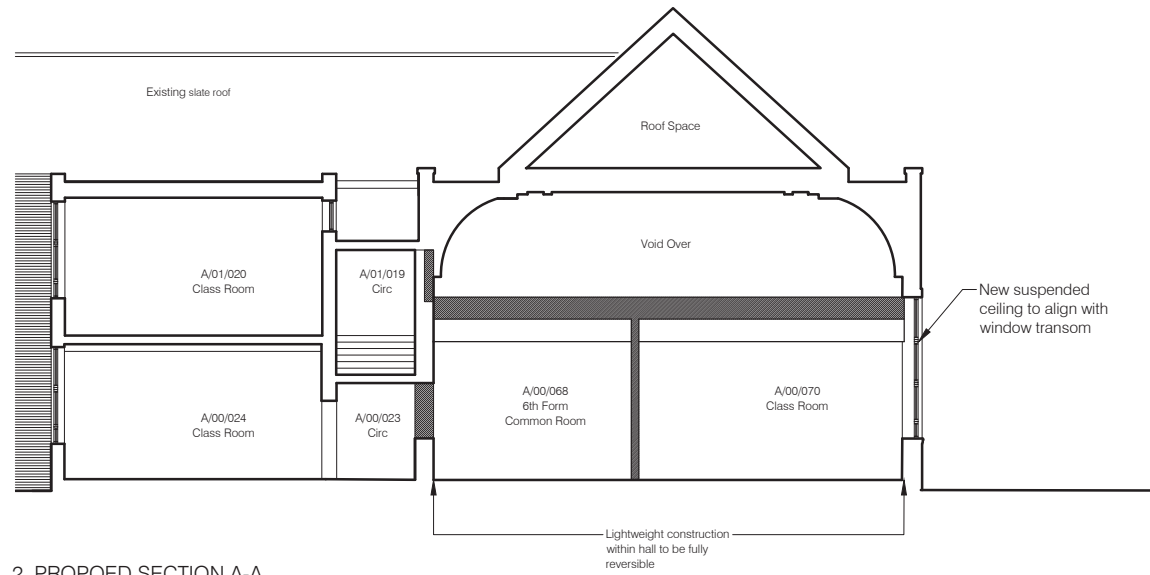
drawn	SG	file	LBE 740
date	July 2016	scale @ A1	1:100

South Elevation of School site
 as viewed from Southgate House

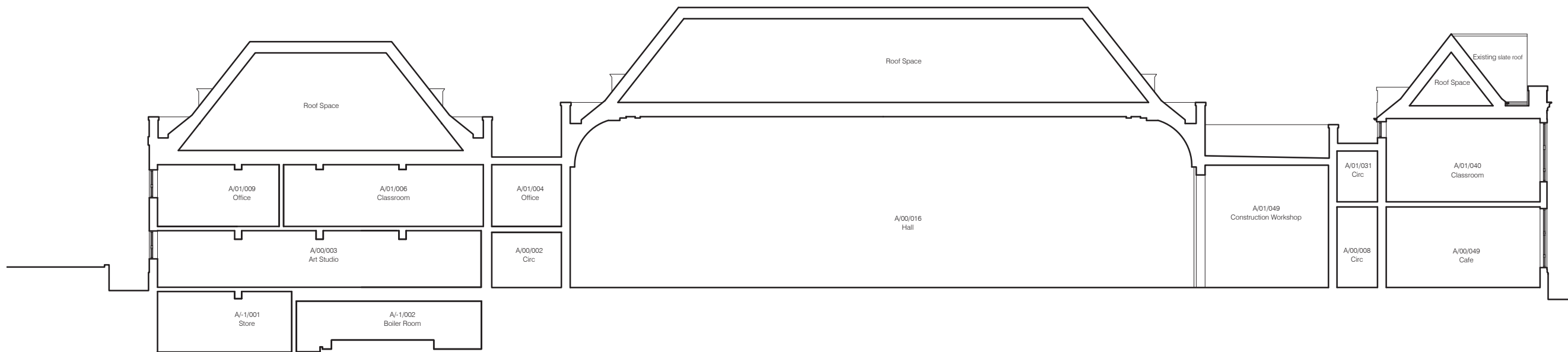
job number	drawing number	revision
740	153	A



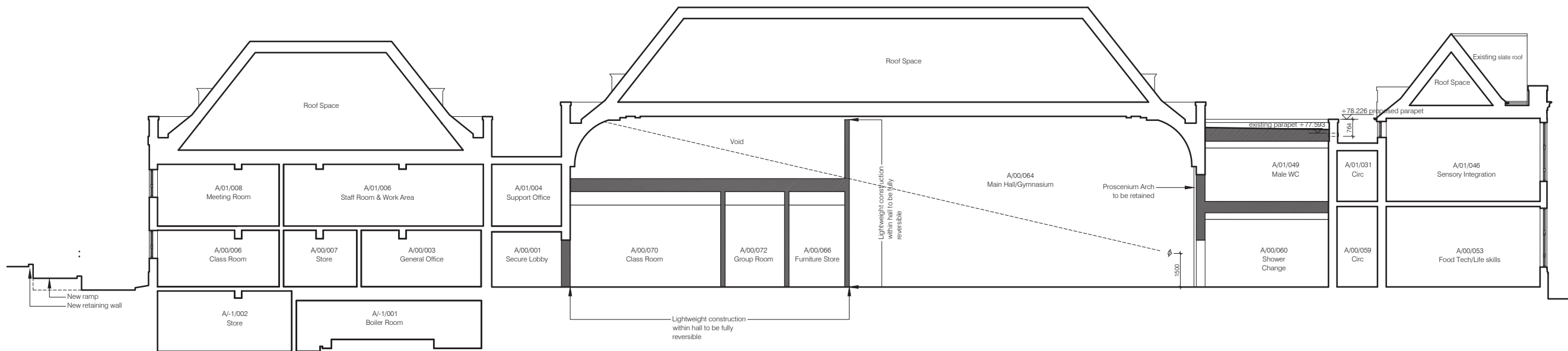
1. EXISTING SECTION A-A



2. PROPOSED SECTION A-A



3. EXISTING SECTION B-B

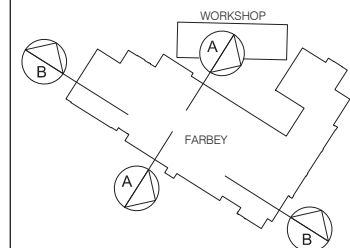


4. PROPOSED SECTION B-B



- GENERAL NOTES:
- Do not scale from this drawing unless for planning
 - All existing steel PPC framed single glazed windows including timber sub-frames to be replaced with new PPC thermally broken metal framed double glazed windows in new timber painted sub-frames. All to match existing
 - Replace all internal doors with new laminate faced solid core doors and painted frames

ELEVATION KEY



Rev.	Date	Description	Name
A	09.16	Planning Application	RB



Nicholas House River Front Enfield Middlesex EN1 3TF
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Minchenden School Site
 High Street
 London
 N14 6BS

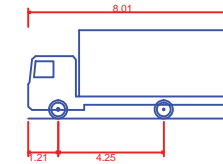
drawn	file
SG	LBE 740
date	scale @ A1
July 2016	1:100

Farbey Building
 Existing & Proposed Sections

job number	drawing number	revision
740	160	A



VEHICLE TRACK DETAILS



7.5T Box Van (Similar Dimensions to 22 Seater Minibus)
 Overall Length 8.010m
 Overall Width 2.100m
 Overall Body Height 3.556m
 Min Body Ground Clearance 0.351m
 Track Width 2.064m
 Lock to Lock Time 4.00s
 Kerb to Kerb Turning Radius 7.400m

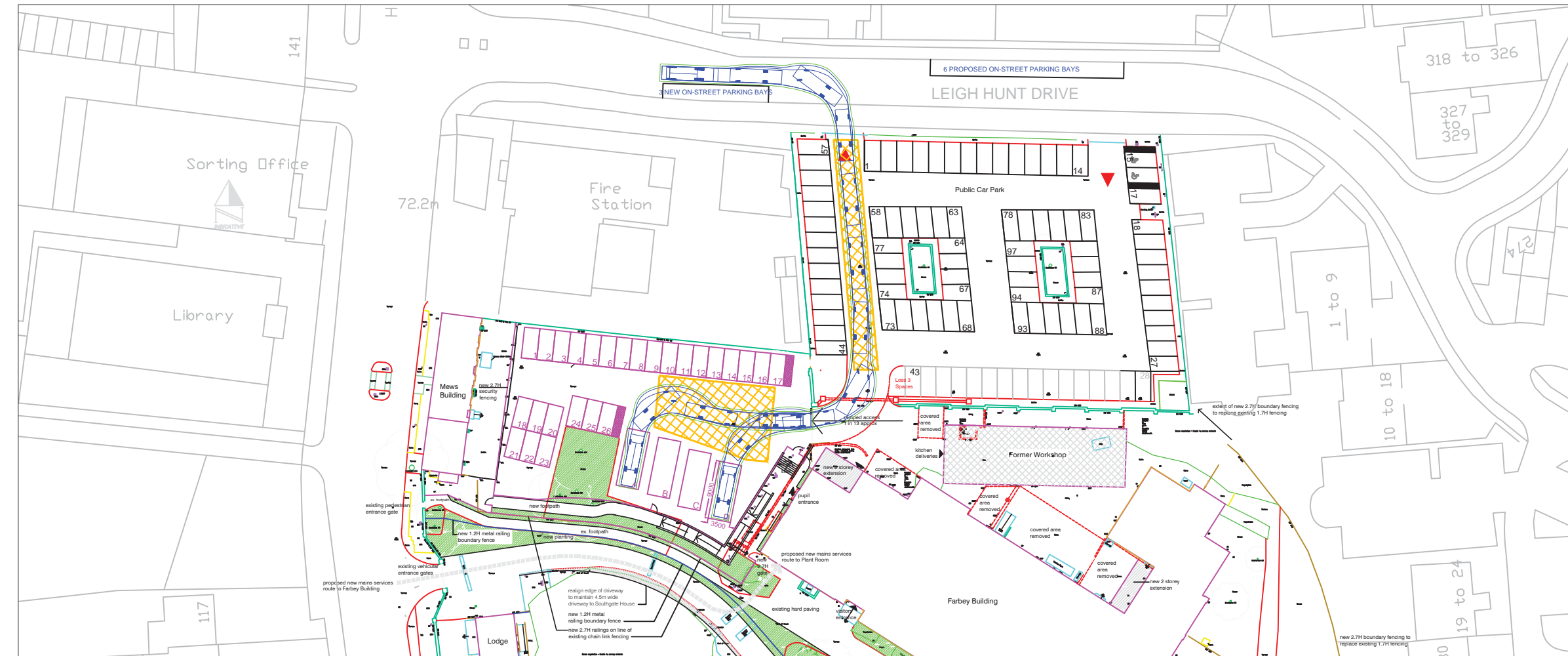
KEY

- Minibus Parking Bay
9m x 3.5m with 1.5m spacing
- Staff Car Parking Bay
2.4m x 4.8m
- Proposed Access
(Loss of 3 spaces in P&D Car Park)
- Proposed Sliding Access Gate
- Yellow Box Markings to be kept clear at all times

NOTE

1. Based on Topographical Survey
2. Subject to Highway Boundary Information, Stage 1 Safety Audit (if required), and Council Approval.

1. Design Vehicle (7.5T Box Van / 22 Seater Minibus) entering the site from Leigh Hunt Drive via the public car park and reversing into minibus parking spaces A and D.



2. Design Vehicle (7.5T Box Van / 22 Seater Minibus) exiting the site via the public car park to Leigh Hunt Drive.

PRELIMINARY

COTTEE Transport Planning

Fir Lodge
Threshelfords Business Park
Feering
Essex
CO5 9SE
 Tel : 01376 573400
 Fax : 01376 573480
 email : info@cottee-tp.co.uk
 www.cotteetransportplanning.co.uk

Client
ENFIELD COUNCIL

Project
**MINCHENDEN SCHOOL
SOUTHGATE**

Title
**PROPOSED PARKING
AREA LAYOUT AND ACCESS
OPTION 5
ACCESS / EXIT FROM LEIGH HUNT
DRIVE (AVOIDING HERITAGE WALL)**

Drawn **A FIRMIN** Checked **MAC**

Scale **NTS @ A3** Date **AUG 2016**

Drawing No. **1626/20C**